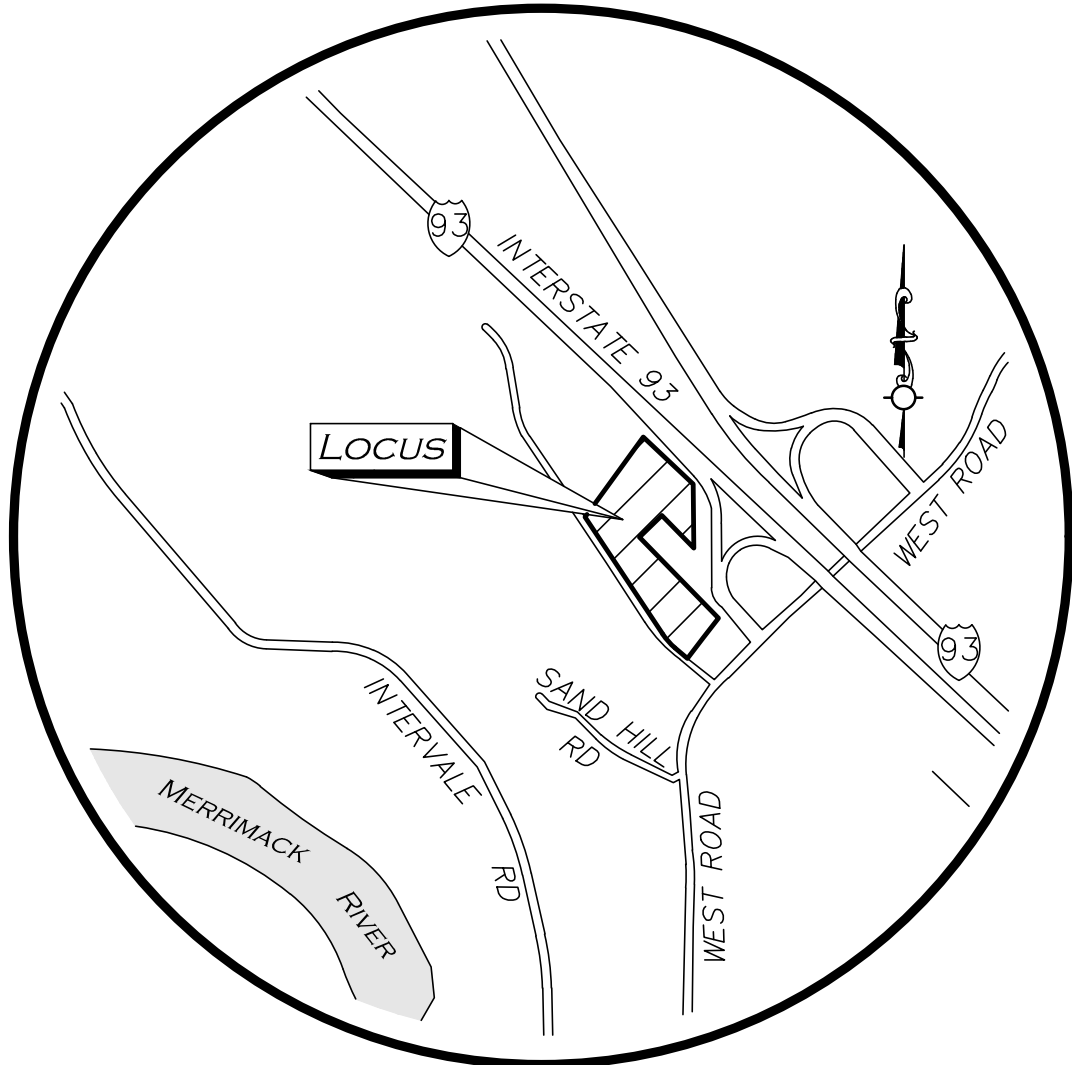


SITE DEVELOPMENT PLANS FOR HALL ROAD

ASSESSOR'S MAP 251, LOT 18
CANTERBURY, NH 03224

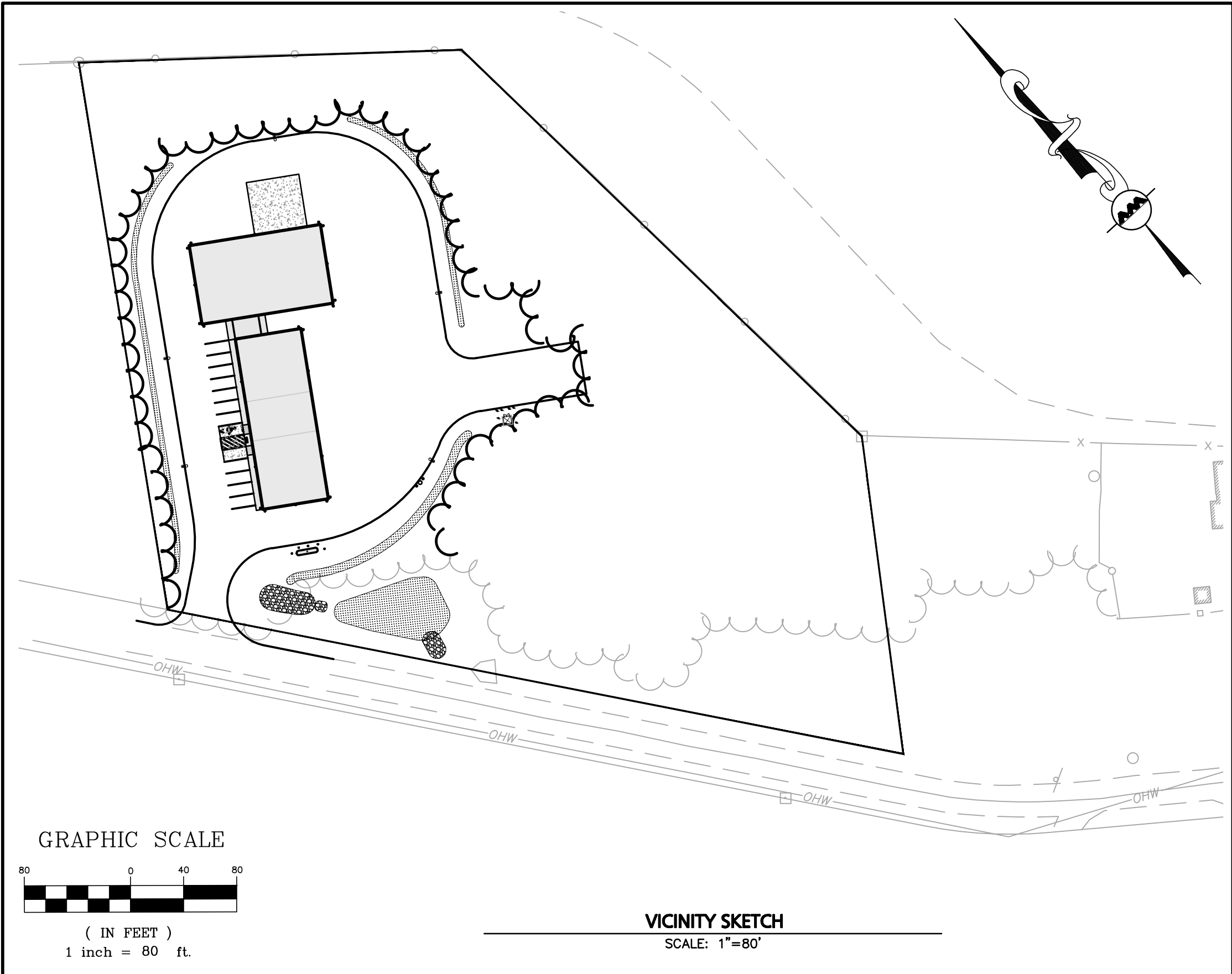


LOCUS MAP
NOT TO SCALE

APPLICANT\OWNER:
STATION MEADOW, LLC
4 DUNLAP ROAD
BURLINGTON, MA 01803

**CIVIL ENGINEER /
LANDSCAPE ARCHITECT /
SURVEYOR:**
ALLEN & MAJOR ASSOCIATES, INC.
400 HARVEY ROAD
MANCHESTER, NH 03103
PHONE: 603.627.5500

WETLAND / SOIL SCIENTIST:
GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DRIVE
BUILDING 2, UNIT H
EXETER, NH 03833
PHONE: 603.778.0644



LIST OF DRAWINGS			
DRAWING TITLE	SHEET	ISSUED	REVISION I
EXISTING CONDITIONS PLAN	V-100	05-13-21	-
LOT LINE ADJUSTMENT PLAN	V-101	05-13-21	-
EXISTING SOILS MAPPING	V-102	-	-
LAYOUT & MATERIALS PLAN	C-100	05-17-21	-
GRADING & DRAINAGE PLAN	C-101	05-17-21	-
UTILITIES PLAN	C-102	05-17-21	-
EROSION CONTROL PLAN	C-103	05-17-21	-
SITE LIGHTING PLAN	C-104	05-17-21	-
DETAILS	C-501	05-17-21	-
DETAILS	C-502	05-17-21	-
DETAILS	C-503	05-17-21	-
INDIVIDUAL SUBSURFACE DISPOSAL SYSTEM	ISDS-1	05-17-21	-
INDIVIDUAL SUBSURFACE DISPOSAL SYSTEM	ISDS-2	05-17-21	-
	-	-	-



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.



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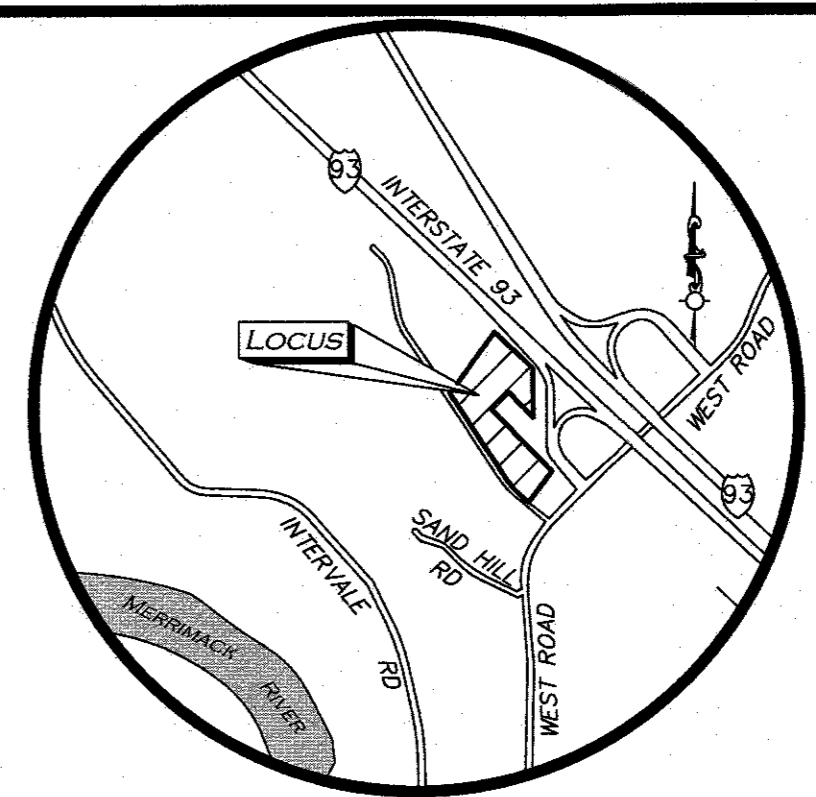
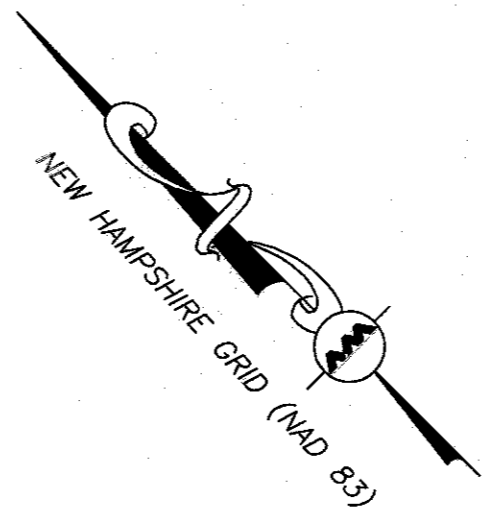
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ISSUED FOR REVIEW: MAY 17, 2021

BENCHMARK SUMMARY		
TBM #	DESCRIPTION	ELEV.
▲	RR SPIKE SET IN UTILITY POLE #3	371.28

LEGEND	
STONE BOUND (SB)	□
IRON PIPE (IP)	○
IRON ROD (IR)	○
UTILITY POLE	○
INVERT (INV)	○
SIGN	⊥
WELL	⊙
MAILBOX	Ⓜ
BUILDING	▭
1' CONTOUR	---53---
5' CONTOUR	---55---
PROPERTY LINE	— — —
ABUTTERS LINE	— — —
TREE LINE	~ ~ ~
EDGE OF PAVEMENT	— — —
CHAIN LINK FENCE	x — —
VINYL FENCE	□ — —
HIGHWAY FENCE	○ — —
OVERHEAD WIRES	— OHW —
HIGH DENSITY POLYETHYLENE PIPE HDPE	— — —
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.



LOCUS MAP
(NOT TO SCALE)

LOCUS REFERENCES

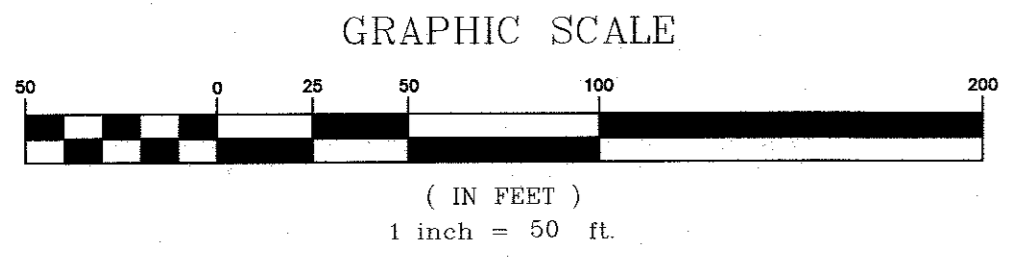
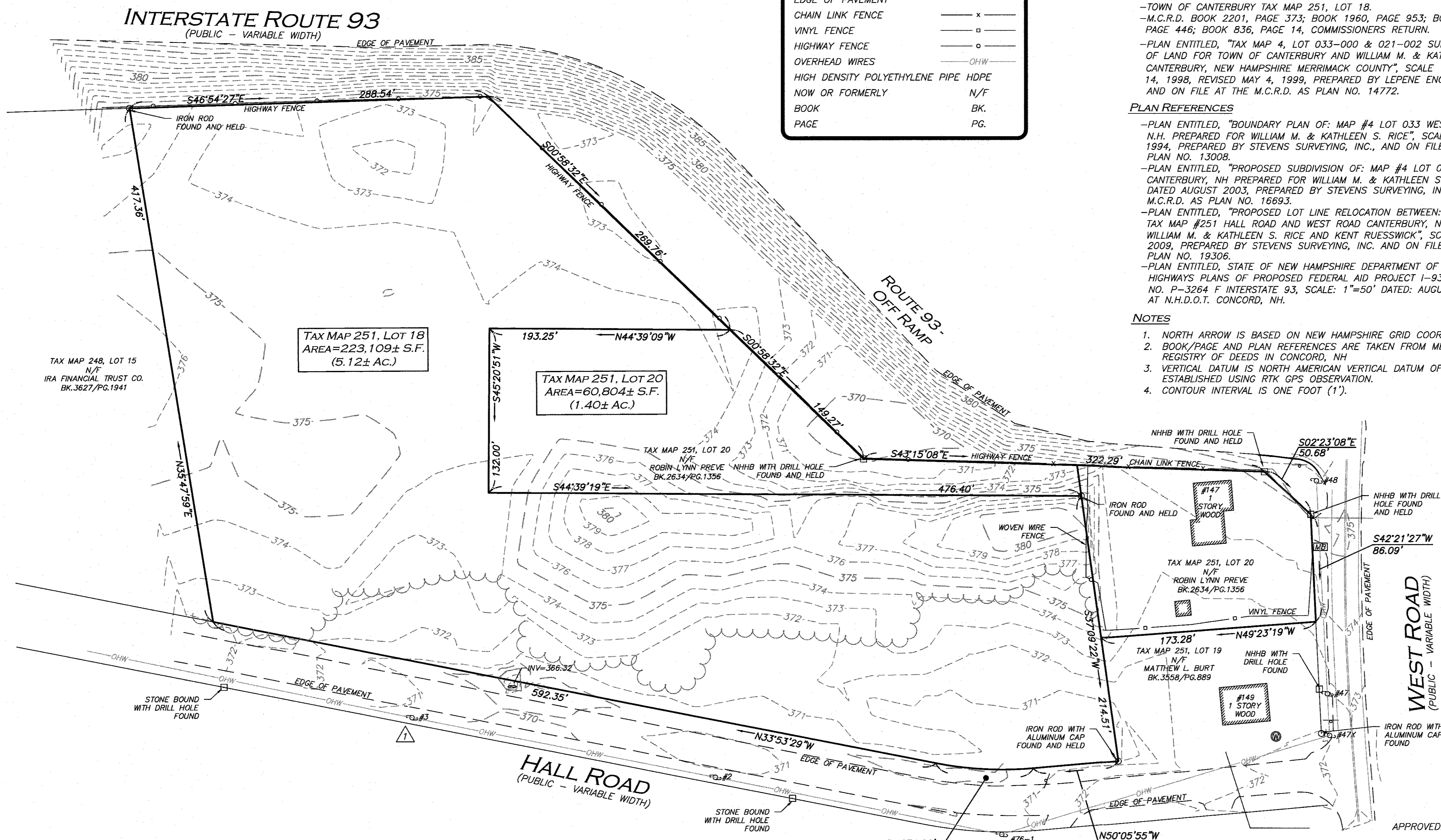
- TOWN OF CANTERBURY TAX MAP 251, LOT 18.
- M.C.R.D. BOOK 2201, PAGE 373; BOOK 1960, PAGE 953; BOOK 732, PAGE 309; BOOK 648; PAGE 446; BOOK 836, PAGE 14, COMMISSIONERS RETURN.
- PLAN ENTITLED, "TAX MAP 4, LOT 033-000 & 021-002 SUBDIVISION AND ANNEXATION OF LAND FOR TOWN OF CANTERBURY AND WILLIAM M. & KATHLEEN RICE WEST ROAD CANTERBURY, NEW HAMPSHIRE MERRIMACK COUNTY", SCALE 1"=100', DATED OCTOBER 14, 1998, REVISED MAY 4, 1999, PREPARED BY LEPENE ENGINEERING & SURVEYING, AND ON FILE AT THE M.C.R.D. AS PLAN NO. 14772.

PLAN REFERENCES

- PLAN ENTITLED, "BOUNDARY PLAN OF: MAP #4 LOT 033 WEST ROAD CANTERBURY, N.H. PREPARED FOR WILLIAM M. & KATHLEEN S. RICE", SCALE 1"=50', DATED APRIL 1994, PREPARED BY STEVENS SURVEYING, INC., AND ON FILE AT THE M.C.R.D. AS PLAN NO. 13008.
- PLAN ENTITLED, "PROPOSED SUBDIVISION OF: MAP #4 LOT 033 WEST ROAD CANTERBURY, NH PREPARED FOR WILLIAM M. & KATHLEEN S. RICE", SCALE 1"=50', DATED AUGUST 2003, PREPARED BY STEVENS SURVEYING, INC., AND ON FILE AT THE M.C.R.D. AS PLAN NO. 16693.
- PLAN ENTITLED, "PROPOSED LOT LINE RELOCATION BETWEEN: LOTS #17 AND #17-001, TAX MAP #251 HALL ROAD AND WEST ROAD CANTERBURY, NH 03224 PREPARED FOR WILLIAM M. & KATHLEEN S. RICE AND KENT RUESSWICK", SCALE 1"=50' DATED JULY 2009, PREPARED BY STEVENS SURVEYING, INC. AND ON FILE AT THE M.C.R.D. AS PLAN NO. 19306.
- PLAN ENTITLED, STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS PLANS OF PROPOSED FEDERAL AID PROJECT I-93-2(8)45 N.H. PROJECT NO. P-3264 F INTERSTATE 93, SCALE: 1"=50' DATED: AUGUST 01, 1958, FOUND AT N.H.D.O.T. CONCORD, NH.

NOTES

1. NORTH ARROW IS BASED ON NEW HAMPSHIRE GRID COORDINATE SYSTEM (NAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM MERRIMACK COUNTY REGISTRY OF DEEDS IN CONCORD, NH
3. VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) ESTABLISHED USING RTK GPS OBSERVATION.
4. CONTOUR INTERVAL IS ONE FOOT (1').



APPROVED: _____
TOWN OF CANTERBURY PLANNING BOARD

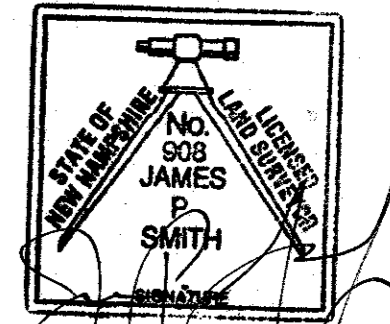
CHAIR/VICE CHAIR _____

DATE APPROVED: _____

DATE SIGNED: _____

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN MARCH 20, 2021 AND MARCH 25, 2021 AND HAD AN ERROR OF CLOSURE OF NO GREATER THAN 1/10,000.

ALLEN & MAJOR ASSOCIATES, INC.



JAMES P. SMITH NH LLS #908 DATE 5-13-2021

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
STATION MEADOW, LLC
4 DUNLAP ROAD
BURLINGTON, MA 01803

PROJECT:
TAX MAP 251, LOT 18
HALL ROAD
CANTERBURY, NH

PROJECT NO. 2915-01 DATE: 4/02/21
SCALE: 1" = 50' DWG. NAME: S-2915-01-EC
DRAFTED BY: AJR CHECKED BY: JPS

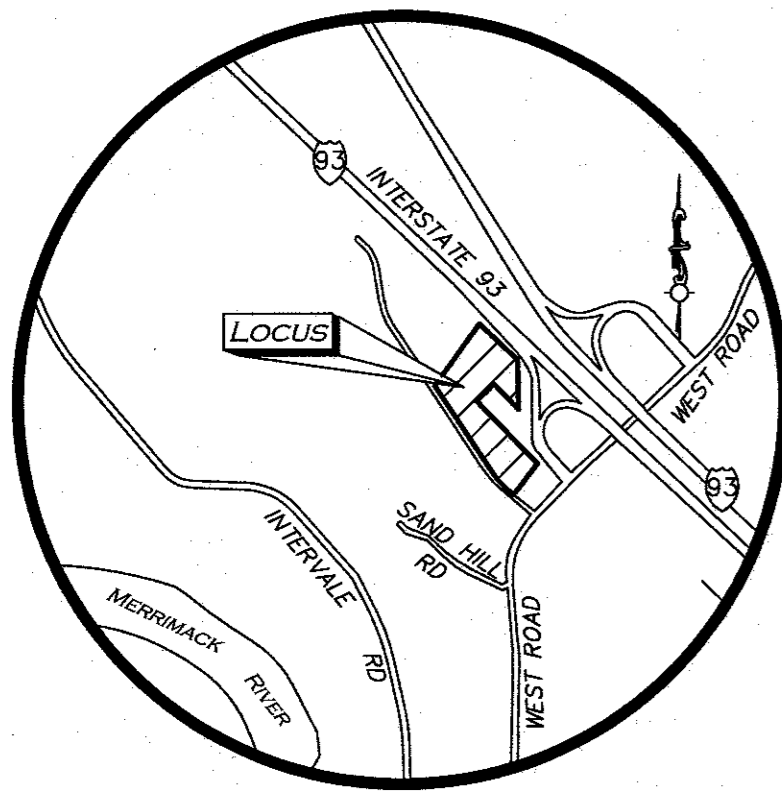
PREPARED BY:

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400 HARVEY ROAD
MANCHESTER, NH 03103
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WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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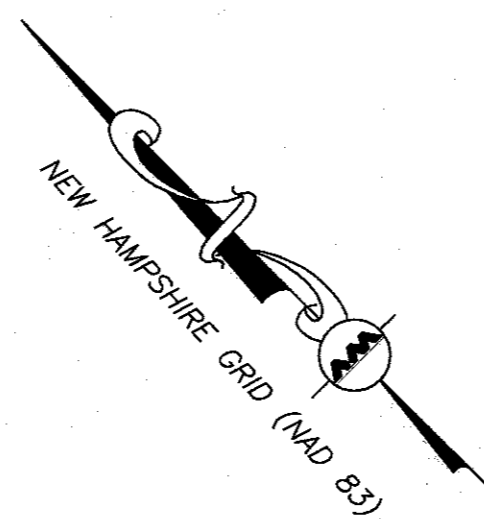
DRAWING TITLE: EXISTING CONDITIONS SHEET NO. V-100



LOCUS MAP
(NOT TO SCALE)

INTERSTATE ROUTE 93
(PUBLIC - VARIABLE WIDTH)

ZONING TABLE - INDUSTRIAL DISTRICT (I)	
ITEM	REQUIRED
LOT AREA (MIN)	2 ACRES
LOT DEPTH (MIN)	150'
LOT WIDTH (MIN)	200'
LOT FRONTAGE (MIN)	200'
FRONT YARD SETBACK (MIN)	50'
SIDE YARD SETBACK (MIN)	20'
REAR YARD SETBACK (MIN)	20'
LOT COVERAGE (MAX)	35%



LEGEND	
STONE BOUND (SB)	□
IRON PIPE (IP)	○
IRON ROD (IR)	○
UTILITY POLE	○
INVERT (INV)	○
SIGN	○
WELL	⊗
MAILBOX	MB
BUILDING	▭
PROPERTY LINE	—
ABUTTERS LINE	- - -
EDGE OF PAVEMENT	- · - · -
CHAIN LINK FENCE	x
VINYL FENCE	○
HIGHWAY FENCE	—
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.

LOCUS REFERENCES

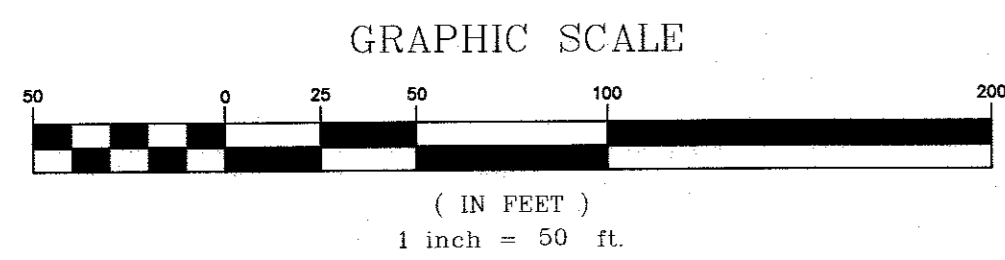
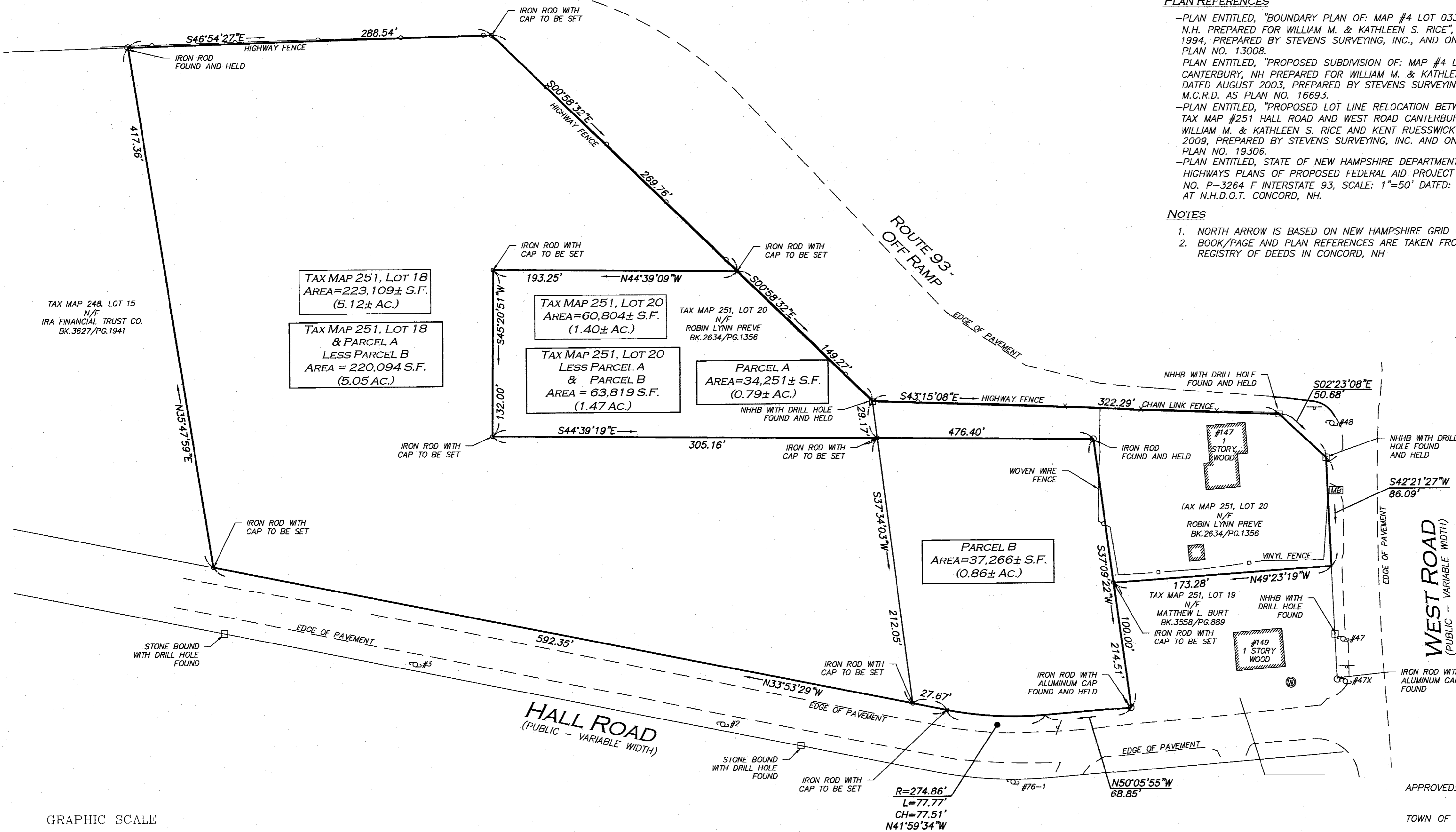
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- PLAN ENTITLED, "TAX MAP 4, LOT 033-000 & 021-002 SUBDIVISION AND ANNEXATION OF LAND FOR TOWN OF CANTERBURY AND WILLIAM M. & KATHLEEN RICE WEST ROAD CANTERBURY, NEW HAMPSHIRE MERRIMACK COUNTY", SCALE 1"=100', DATED OCTOBER 14, 1998, REVISED MAY 4, 1999, PREPARED BY LEPENE ENGINEERING & SURVEYING, AND ON FILE AT THE M.C.R.D. AS PLAN NO. 14772.

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NOTES

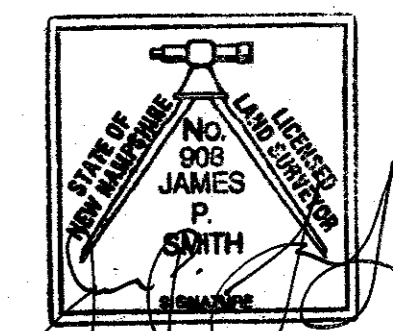
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2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM MERRIMACK COUNTY REGISTRY OF DEEDS IN CONCORD, NH.



APPROVED: _____
TOWN OF CANTERBURY PLANNING BOARD

CHAIR/VICE CHAIR _____
DATE APPROVED: _____
DATE SIGNED: _____

"I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON OR BETWEEN MARCH 20, 2021 AND MARCH 25, 2021 AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY."



JAMES P. SMITH NH LLS #908
5-13-2021 DATE

APPLICANT/OWNER:
STATION MEADOW, LLC
4 DUNLAP ROAD
BURLINGTON, MA 01803

PROJECT:
TAX MAP 251, LOT 18
HALL ROAD
CANTERBURY, NH

PROJECT NO. 2915-01 DATE: 4/23/21
SCALE: 1" = 50' DWG. NAME: S-2915-01-LLA
DRAFTED BY: AJR CHECKED BY: JPS

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
400 HARVEY ROAD
MANCHESTER, NH 08108
TEL: (603) 627-5500
FAX: (603) 627-5501

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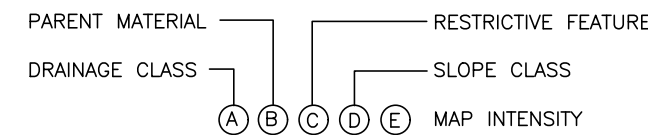
DRAWING TITLE: **LOT LINE ADJUSTMENT PLAN** SHEET NO. **V-101**

HISS MAP UNIT LEGEND

SYMBOL*	MAP UNIT	SLOPE CLASS	HISS SYMBOL	HSC
35B	CHAMPLAIN LOAMY FINE SAND	0-8%	131BH	A

KEY TO SOIL TYPES

THE SOIL TYPES ARE DEFINED BY SOIL CHARACTERISTICS; AND DESIGNATED WITH A FIVE PART SYMBOL.



SYMBOL: **A** DRAINAGE CLASS

- 1- EXCESSIVELY DRAINED
- 2- WELL DRAINED
- 3- MODERATELY WELL DRAINED
- 4- SOMEWHAT POORLY DRAINED
- 5- POORLY DRAINED
- 6- VERY POORLY DRAINED
- 7- NOT DETERMINABLE (TO BE USED ONLY WITH SYMBOL B-6)

SYMBOL: **B** PARENT MATERIAL

- 1- GLACIOFLUVIAL DEPOSITS (OUTWASH/TERRACES OF SAND OR SAND AND GRAVEL)
- 2- GLACIAL TILL MATERIAL (ACTIVE ICE) MARINE OR GLACIOLACUSTRINE DEPOSITS (3,4 OR 5)
- 3- VERY FINE SAND AND SILT DEPOSITS (GLACIAL LAKES)
- 4- LOAMY/SANDY OVER SILT/CLAY DEPOSITS
- 5- SILT AND CLAY DEPOSITS (OCEAN WATERS)
- 6- EXCAVATED, REGRADED OR FILLED (SEE ADDENDUM ITEM #1)
- 7- ALLUVIAL DEPOSITS (FLOOD PLAINS)
- 8- ORGANIC MATERIALS - FRESH WATER BOGS, ETC.
- 9- ORGANIC MATERIALS - TIDAL MARSH

SOIL LEGEND

111BH

SOIL TYPE DESIGNATION

..... SOIL BOUNDARY

SYMBOL: **C** RESTRICTIVE FEATURES (IF MORE THAN ONE APPLIES, LIST THE MOST RESTRICTIVE)

- 1- NONE
- 2- BOULDERS, WITH MORE THAN 15% OF THE SURFACE COVERED WITH BOULDERS (LARGER THAN 24 INCHES IN DIAMETER).
- 3- MINERAL RESTRICTIVE LAYER(S) ARE PRESENT IN THE SOIL PROFILE LESS THAN 40 INCHES BELOW THE SOIL SURFACE - SUCH AS HARD PAN, PLATY STRUCTURE, AND CLAYEY TEXTURE WITH CONSISTENCE OF AT LEAST FIRM, I.E. MORE THAN 20 NEWTONS. FOR EXAMPLES OF SOIL CHARACTERISTICS THAT QUALIFY FOR RESTRICTIVE LAYER, SEE SOIL MANUAL FOR SITE EVALUATIONS IN NEW HAMPSHIRE, 2ND ED. PAGE 3-17, FIGURE 3-14.
- 4- BEDROCK PRESENT IN THE SOIL PROFILE 0-20 INCHES BELOW THE SOIL SURFACE (BEDROCK IS EITHER A LITHIC OR A PARALITHIC CONTACT - SEE USER NOTE: SOIL TAXONOMY). PARALITHIC REFERENCES BEDROCK THAT CAN BE REMOVED BY AN EXCAVATOR, BACKHOE, OR BY HAND SHOVEL WITH DIFFICULTY. BEDROCK FRACTURES ARE SPACED MORE THAN 4 INCHES.
- 5- SUBJECT TO FLOODING.
- 6- DOES NOT MEET FILL STANDARDS (SEE ADDENDUM - STANDARDS FOR FILL MATERIAL) (ONLY TO BE USED WITH SYMBOL B-6).
- 7- BEDROCK PRESENT IN THE SOIL PROFILE 20 TO 40 INCHES BELOW THE SOIL SURFACE. (BEDROCK IS EITHER LITHIC OR PARALITHIC CONTACT; SEE SOIL TAXONOMY).
- 8- AREAS WHERE DEPTH TO BEDROCK IS SO VARIABLE THAT A SINGLE SOIL TYPE CANNOT BE APPLIED, WILL BE MAPPED AS A COMPLEX OF SOIL TYPES AND WILL HAVE A SYMBOL C OF 8.

SYMBOL: **D** SLOPE CLASS

- B- 0% TO 8%
- C- 8% TO 15%
- D- 15% TO 25%
- E- 25% +

SYMBOL: **E** HIGH INTENSITY SOIL MAP IDENTIFIER

- H = HIGH INTENSITY
- P = PRELIMINARY

NOTES:

- THIS HIGH INTENSITY SOIL SURVEY WAS PERFORMED BY LUKE D. HURLEY, CERTIFIED SOIL SCIENTIST #895 OF GOVE ENVIRONMENTAL SERVICES, INC. OF EXETER, NEW HAMPSHIRE.
- IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCE CONSERVATION SERVICE.
- LUKE D. HURLEY, CERTIFIED WETLAND SCIENTIST #232, OF GOVE ENVIRONMENTAL SERVICES, INC. OF EXETER, NH, PERFORMED THE WETLAND MAPPING ON DECEMBER 5, 2017 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.

ISSUED FOR REVIEW

MAY 17, 2021

REV	DATE	DESCRIPTION
1	5-17-2021	ISSUED FOR REVIEW

APPLICANT/OWNER:

STATION MEADOW, LLC
4 DUNLAP ROAD
BURLINGTON, MA 01803

PROJECT:

TAX MAP 251, LOT 18
HALL ROAD
CANTERBURY, NH

PROJECT NO. 2915-01 DATE: 5/17/2021

SCALE: 1" = 40' DWG. NAME: C2915-01

DESIGNED BY: ARM CHECKED BY: MAM

PREPARED BY:



ALLEN & MAJOR ASSOCIATES, INC.

civil engineering • land surveying environmental consulting • landscape architecture
www.allenmajor.com

400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500
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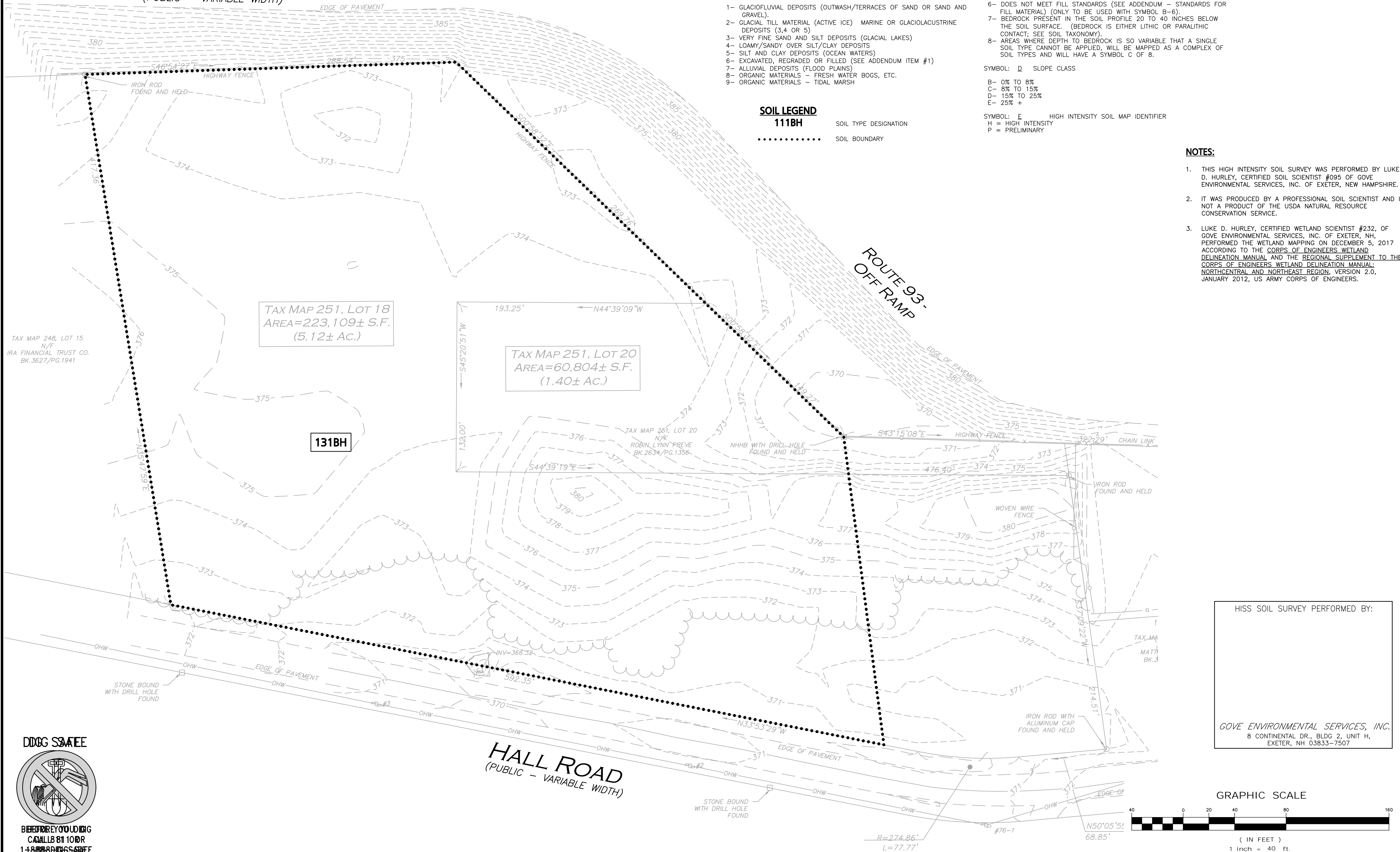
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DRAWING TITLE: EXISTING SOILS MAPPING SHEET No. V-102

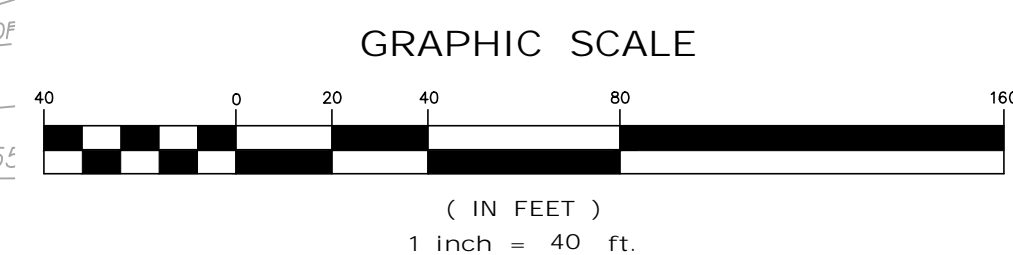
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INTERSTATE ROUTE 93
(PUBLIC - VARIABLE WIDTH)



HISS SOIL SURVEY PERFORMED BY:

GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DR., BLDG 2, UNIT H,
EXETER, NH 03833-7507



DDCG SOFTWARE

BIEREKREY TOUDING
CALL 881 108R
1-888-888-8888
1-888-888-4472

INTERSTATE ROUTE 93
(PUBLIC - VARIABLE WIDTH)

ZONING SUMMARY TABLE
INDUSTRIAL DISTRICT (I)

ITEM	REQUIRED	PROPOSED
MIN. LOT SIZE	2 ACRES	5.05 ACRES
MIN. LOT DEPTH	150 FEET	228.7 FEET
MIN. LOT WIDTH	200 FEET	288.5 FEET
MIN. LOT FRONTAGE	200 FEET	564.6 FEET
FRONT YARD SETBACK	50 FEET	87.8 FEET
SIDE YARD SETBACK	20 FEET	60.0 FEET
REAR YARD SETBACK	20 FEET	127.9 FEET
MAXIMUM LOT COVERAGE	35%	32.7%

OFF-STREET PARKING SUMMARY TABLE

USE	CALCULATION	MIN. REQUIRED	PROPOSED
PHASE 1: WAREHOUSE, STORAGE, WHOLESALE ESTABLISHMENTS 4 EMPLOYEES 6,000 S.F.	1 SPACE PER EMPLOYEE	4	4
PHASE 2: WAREHOUSE, STORAGE, WHOLESALE ESTABLISHMENTS 9 EMPLOYEES 6,500 S.F.	1 SPACE PER EMPLOYEE	9	9
NOTES:		TOTAL	13
1. TOWN OF CANTERBURY SITE PLAN REVIEW REGULATIONS, V. GENERAL STANDARDS, D. PARKING, LOADING AND PEDESTRIAN SAFETY: 1. SUFFICIENT OFF-STREET PARKING MUST BE PROVIDED FOR THE ANTICIPATED USE TO ACCOMMODATE BOTH EMPLOYEES AND CUSTOMERS SO THAT NO PARKING IS FORCED ONTO PUBLIC STREETS OR NEARBY PROPERTIES.			
2. THE APPLICANT HAS PROVIDED PARKING FOR EACH ANTICIPATED EMPLOYEE.			
3. ADA SPACES REQUIRED: (1-25) TOTAL PARKING SPACES PROVIDED REQUIRES 1 ADA SPACE			
PROVIDED: 1 ADA SPACES, 1 BEING VAN ACCESSIBLE			

LEGEND

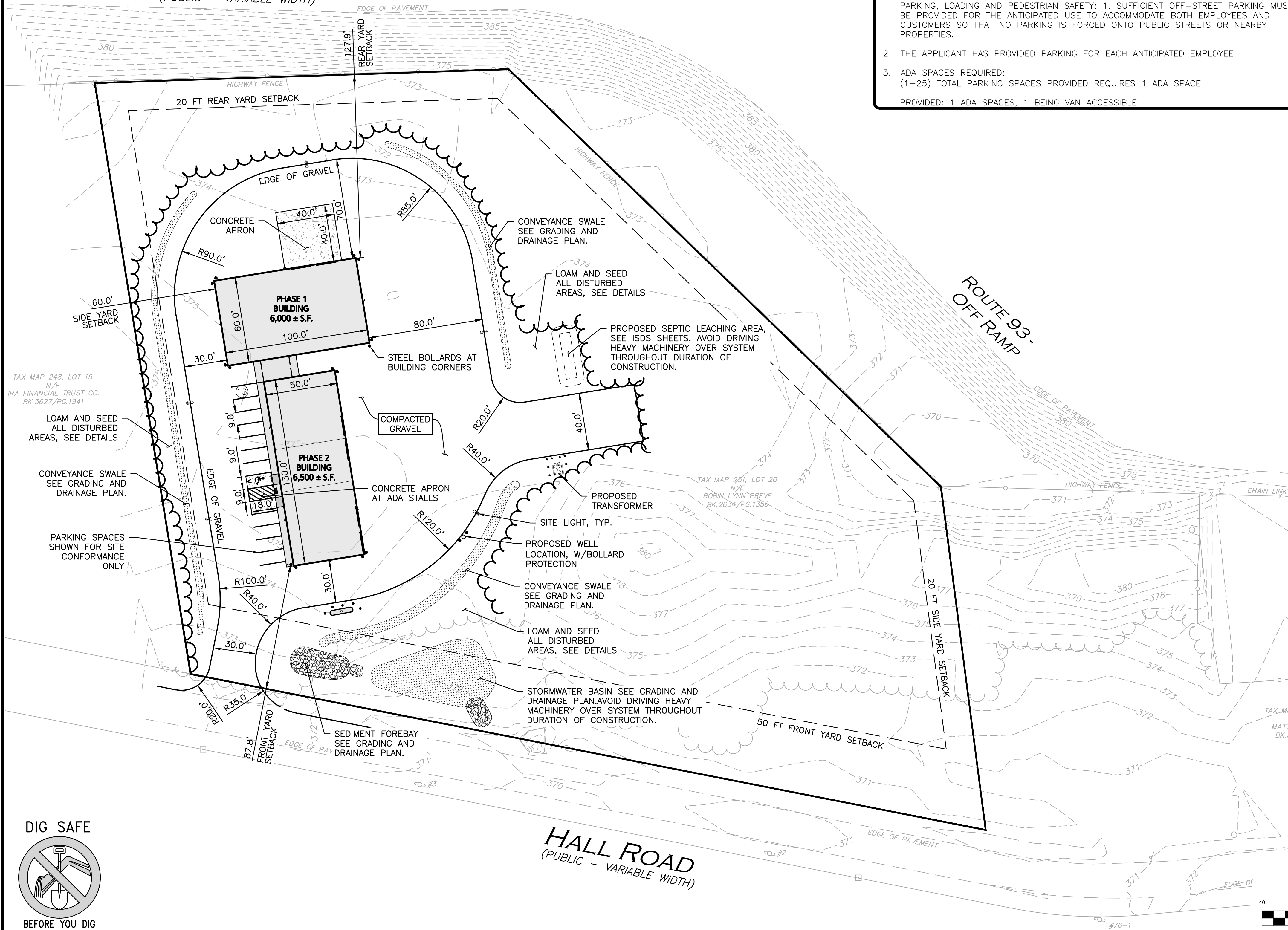
PROP. PROPERTY LINE	---
SIGN	+
BOLLARD	•
BUILDING	[Hatched Box]
BUILDING ARCHITECTURE	[Hatched Box]
PARKING STRIPING	[Zebra Stripes]
ROADWAY STRIPING	[Double Line]
HEAVY DUTY CONCRETE	[Dotted Pattern]
SIDEWALK	[Horizontal Lines]
ADA ACCESSIBLE RAMP	[Ramp Symbol]
ADA DET. WARNING SURFACE	[Grid Pattern]
SETBACK LINE	---(10)---
PARKING COUNT	(10)
TREE LINE	[Wavy Line]
TRANSFORMER	[Transformer Symbol]



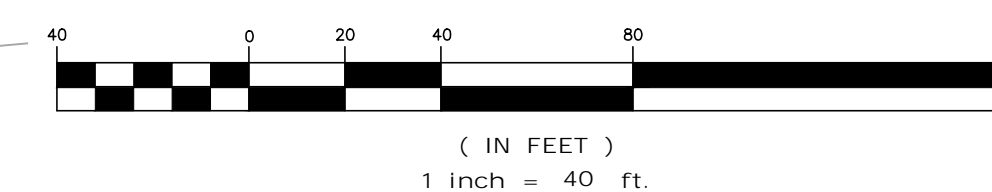
PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

GENERAL NOTES

- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS BUILT BY A LICENSED LAND SURVEYOR.
- OFFICE ESTABLISHMENTS LESS THAN 5,000 SF OF FLOOR AREA ARE PERMITTED BY-RIGHT. OFFICE ESTABLISHMENTS MORE THAN 5,000 SF OF FLOOR AREA MAY BE AUTHORIZED AS A SPECIAL EXCEPTION BY THE BOARD OF ADJUSTMENT.
- NEW CONSTRUCTION WITHIN THE RIGHT-OF-WAY ONLY SHALL BE COMPLETED IN ACCORDANCE WITH THE TOWN CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION. THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT CONTACT THE TOWN ENGINEERING SERVICES DIVISION PRIOR TO CONSTRUCTION TO APPLY FOR THE PERMIT.
- ALL DRAINAGE SHALL CONFORM TO NHDOT AND NHDES REQUIREMENTS.
- PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS, ALL DRAINAGE STRUCTURES, PIPES AND BASINS SHALL BE INSTALLED AND INSPECTED FOR PROPER FUNCTION.
- THE PROPOSED DEVELOPMENT WITHIN THE AQUIFER AND GROUNDWATER PROTECTION DISTRICT SHALL REQUIRE A CONDITIONAL USE PERMIT FOR:
 - A. STORAGE, HANDLING, AND USE OF REGULATED SUBSTANCES IN QUANTITIES EXCEEDING 100 GALLONS OR 800 POUNDS DRY WEIGHT AT ANY ONE TIME, PROVIDED THAT AN ADEQUATE SPILL PREVENTION, CONTROL AND COUNTERMEASURE (SPCC) PLAN, IS APPROVED BY THE LOCAL FIRE DEPARTMENT.
 - B. ANY USE THAT WILL RENDER IMPERVIOUS MORE THAN 15 PERCENT OR 2,500 SQUARE FEET OF ANY LOT, WHICHEVER IS GREATER.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



GRAPHIC SCALE



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REV	DATE	DESCRIPTION
1	5-17-2021	ISSUED FOR REVIEW

APPLICANT/OWNER:
STATION MEADOW, LLC
4 DUNLAP ROAD
BURLINGTON, MA 01803

PROJECT:
TAX MAP 251, LOT 18
HALL ROAD
CANTERBURY, NH

PROJECT NO. 2915-01 DATE: 5/17/2021

SCALE: 1" = 40' DWG. NAME: C2915-01

DESIGNED BY: ARM CHECKED BY: MAM

PREPARED BY:



ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying environmental consulting • landscape architecture
www.allenmajor.com

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MANCHESTER, NH 03103
TEL: (603) 627-5500
FAX: (603) 627-5501

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: SHEET No.

LAYOUT & MATERIALS PLAN C-100

INTERSTATE ROUTE 93

TEST PIT LOGS

DATE: MAY 3, 2021

PERFORMED BY: A&M - MICHAEL MALYNOWSKI, NHDES SEPTIC DESIGNER

TEST PIT #1 EXISTING GROUND ELEVATION = 373.0
 0-12" 10YR 3/6 LOAMY SAND
 12-28" 10YR 5/6 LOAMY FINE SAND
 28-84" 10YR 6/6 LOAMY FINE SAND
 NO OBSERVED WATER
 NO OBSERVED REDOX

TEST PIT #3 EXISTING GROUND ELEVATION = 374.0
 0-12" 10YR 3/6 LOAMY SAND
 12-23" 10YR 5/6 LOAMY FINE SAND
 23-84" 10YR 6/6 LOAMY FINE SAND
 NO OBSERVED WATER
 NO OBSERVED REDOX

TEST PIT #2 EXISTING GROUND ELEVATION = 372.5
 0-12" 10YR 3/6 LOAMY SAND
 12-22" 10YR 5/6 LOAMY FINE SAND
 22-84" 10YR 6/6 LOAMY FINE SAND
 NO OBSERVED WATER
 NO OBSERVED REDOX

TEST PIT #4 EXISTING GROUND ELEVATION = 374.0
 0-8" 10YR 3/6 LOAMY FINE SAND
 8-22" 10YR 5/6 LOAMY FINE SAND
 22-38" 10YR 6/6 LOAMY FINE SAND
 38-79" 2.5Y 7/1 LOAMY FINE SAND
 NO OBSERVED WATER
 NO OBSERVED REDOX

TEST PIT #5 EXISTING GROUND ELEVATION = 374.0
 0-8" 10YR 3/6 LOAMY FINE SAND
 8-26" 10YR 4/6 LOAMY FINE SAND
 26-72" 2.5Y 6/4 LOAMY FINE SAND
 NO OBSERVED WATER
 REDOX OBSERVED @44"

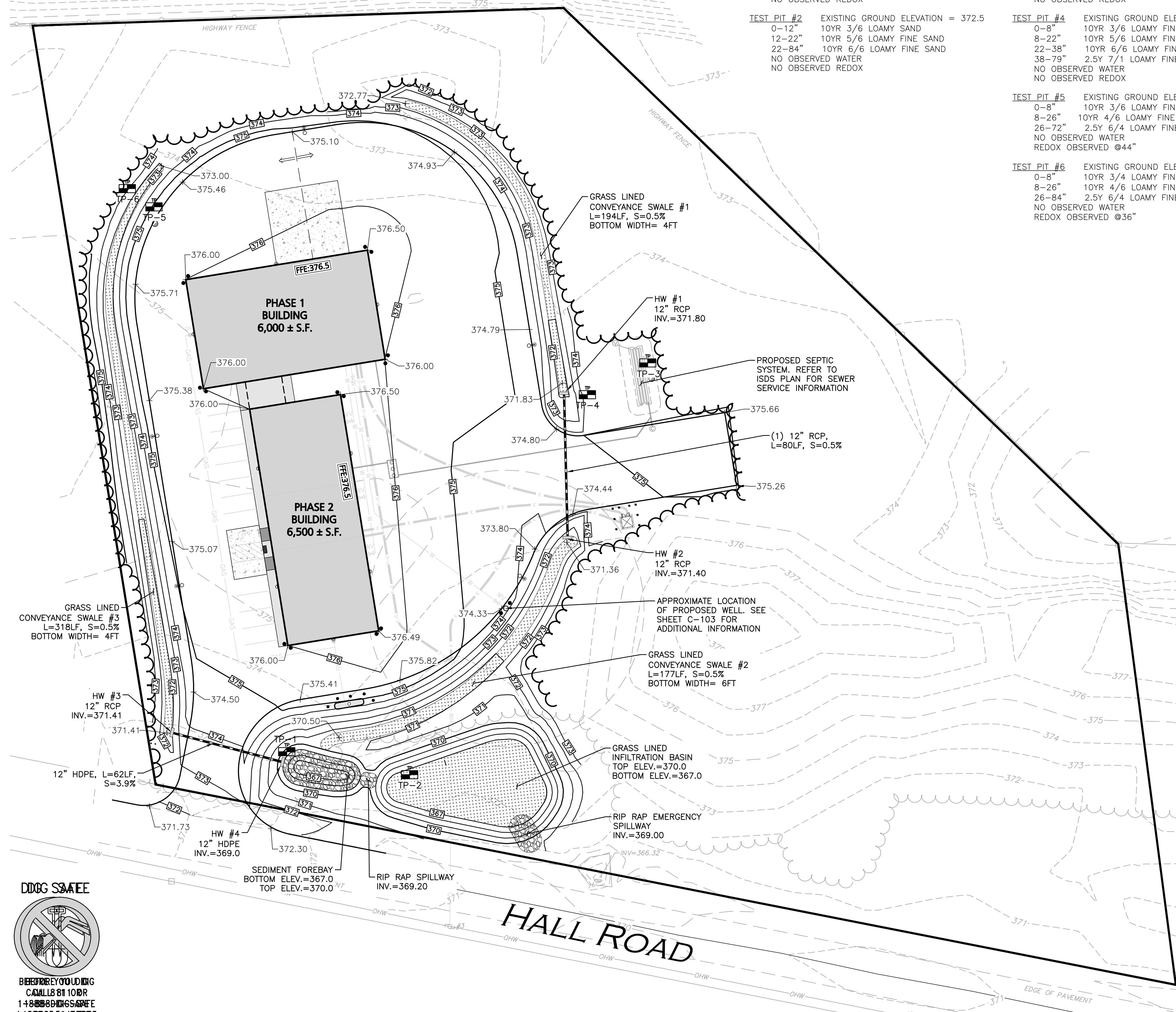
TEST PIT #6 EXISTING GROUND ELEVATION = 374.0
 0-8" 10YR 3/4 LOAMY FINE SAND
 8-26" 10YR 4/6 LOAMY FINE SAND
 26-84" 2.5Y 6/4 LOAMY FINE SAND
 NO OBSERVED WATER
 REDOX OBSERVED @36"

LEGEND

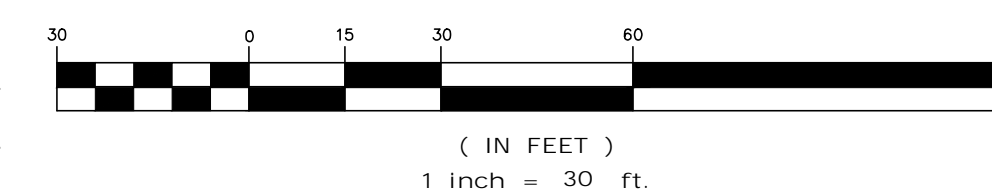
DRAIN LINE	
RIPRAP OUTFALL	
HEADWALL	
5' CONTOUR	
1' CONTOUR	
SPOT GRADE	
ROOF DRAIN	
FLOW DIRECTION	

GRADING & DRAINAGE NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
- ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE, AND LOCAL REGULATIONS.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 4" OF LOAM AND SEED. LAWNS WITH OVER 3:1 SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
- ALL DRAINAGE SHALL CONFORM TO NHDOT AND NHDES REQUIREMENTS.
- PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS, ALL DRAINAGE STRUCTURES, PIPES AND BASINS SHALL BE INSTALLED AND INSPECTED FOR PROPER FUNCTION.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



GRAPHIC SCALE



PROFESSIONAL ENGINEER FOR
 ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	5-17-2021	ISSUED FOR REVIEW

APPLICANT/OWNER:
 STATION MEADOW, LLC
 4 DUNLAP ROAD
 BURLINGTON, MA 01803

PROJECT:
 TAX MAP 251, LOT 18
 HALL ROAD
 CANTERBURY, NH

PROJECT NO. 2915-01 DATE: 5/17/2021

SCALE: 1" = 30' DWG. NAME: C2915-01

DESIGNED BY: ARM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
 civil engineering • land surveying environmental consulting • landscape architecture
 www.allenmajor.com
 400 HARVEY ROAD
 MANCHESTER, NH 03103
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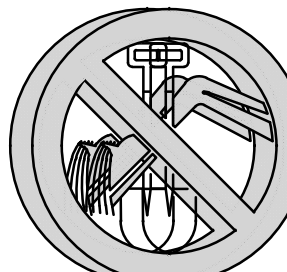
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DRAWING TITLE: GRADING & DRAINAGE PLAN SHEET No. C-101

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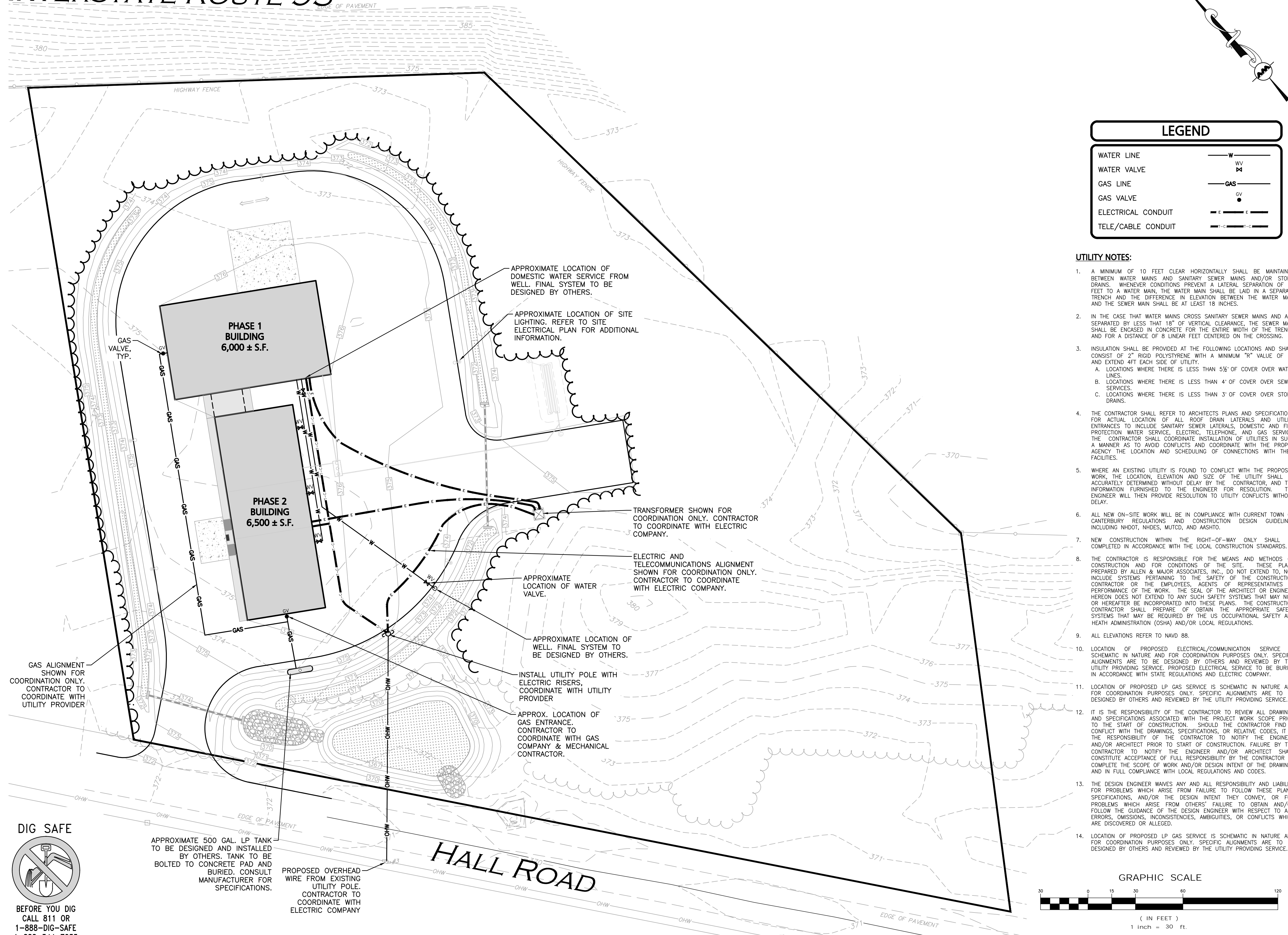
DDG SCALE



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 1-888-881-4723

R:\PROJECTS\2915-01\CIVIL\DRAWINGS\CURRENT\C-2915-01-GRADING & DRAINAGE.DWG

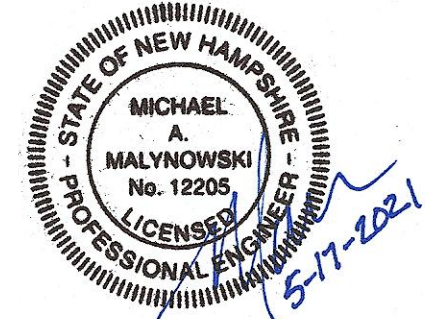
INTERSTATE ROUTE 93



LEGEND	
WATER LINE	— W —
WATER VALVE	WV
GAS LINE	— GAS —
GAS VALVE	GV
ELECTRICAL CONDUIT	— E —
TELE/CABLE CONDUIT	— T-C —

UTILITY NOTES:

- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 8 LINEAR FEET CENTERED ON THE CROSSING.
- INSULATION SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS AND SHALL CONSIST OF 2" RIGID POLYSTYRENE WITH A MINIMUM "R" VALUE OF 10 AND EXTEND 4FT EACH SIDE OF UTILITY.
 - LOCATIONS WHERE THERE IS LESS THAN 5 1/2" OF COVER OVER WATER LINES.
 - LOCATIONS WHERE THERE IS LESS THAN 4' OF COVER OVER SEWER SERVICES.
 - LOCATIONS WHERE THERE IS LESS THAN 3' OF COVER OVER STORM DRAINS.
- THE CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION. THE ENGINEER WILL THEN PROVIDE RESOLUTION TO UTILITY CONFLICTS WITHOUT DELAY.
- ALL NEW ON-SITE WORK WILL BE IN COMPLIANCE WITH CURRENT TOWN OF CANTERBURY REGULATIONS AND CONSTRUCTION DESIGN GUIDELINES INCLUDING NHDOT, NHDES, MUTCD, AND AASHTO.
- NEW CONSTRUCTION WITHIN THE RIGHT-OF-WAY ONLY SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL CONSTRUCTION STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE TO OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- ALL ELEVATIONS REFER TO NAVD 88.
- LOCATION OF PROPOSED ELECTRICAL/COMMUNICATION SERVICE IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. PROPOSED ELECTRICAL SERVICE TO BE BURIED IN ACCORDANCE WITH STATE REGULATIONS AND ELECTRIC COMPANY.
- LOCATION OF PROPOSED LP GAS SERVICE IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.
- LOCATION OF PROPOSED LP GAS SERVICE IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	5-17-2021	ISSUED FOR REVIEW

APPLICANT/OWNER:
STATION MEADOW, LLC
 4 DUNLAP ROAD
 BURLINGTON, MA 01803

PROJECT:
TAX MAP 251, LOT 18
HALL ROAD
 CANTERBURY, NH

PROJECT NO.	2915-01	DATE:	5/17/2021
SCALE:	1" = 80'	DWG. NAME:	C2915-01
DESIGNED BY:	ARM	CHECKED BY:	MAM



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 civil engineering • land surveying environmental consulting • landscape architecture
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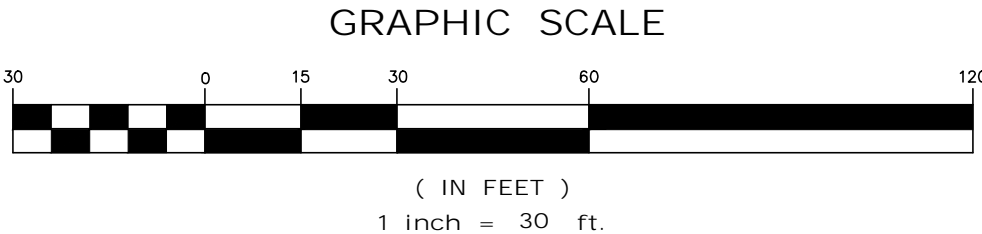
DRAWING TITLE:	SHEET No.
UTILITIES PLAN	C-102

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APPROXIMATE 500 GAL. LP TANK TO BE DESIGNED AND INSTALLED BY OTHERS. TANK TO BE BOLTED TO CONCRETE PAD AND BURIED. CONSULT MANUFACTURER FOR SPECIFICATIONS.

PROPOSED OVERHEAD WIRE FROM EXISTING UTILITY POLE. CONTRACTOR TO COORDINATE WITH ELECTRIC COMPANY



DEMOLITION NOTES

1. THE CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT FROM THE ENGINEERING SERVICES DIVISION FOR WORK WITHIN THE ROW (IF REQUIRED).
2. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
3. GRADING / DEMOLITION OUTSIDE OF THE PROJECT BOUNDARIES REQUIRES A TEMPORARY CONSTRUCTION/GRADING EASEMENT FROM THE LANDOWNER (BY OTHERS).
4. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.

GENERAL NOTES

1. SEE SHEET V-100 FOR EXISTING CONDITIONS.
2. THE SITE IS NOT LOCATED IN THE 100 YEAR FLOOD ZONE.
3. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OF OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
5. FOR ANY NEW SIGNAGE, A SITE SIGNAGE PACKAGE SHALL BE COORDINATED WITH THE DEPARTMENT OF BUILDING SAFETY FOR ORDINANCE AND/OR APPLICATION REQUIREMENTS.
6. ALL NEW WORK WILL BE IN COMPLIANCE WITH CURRENT SITE PLAN AND ZONING REGULATIONS.

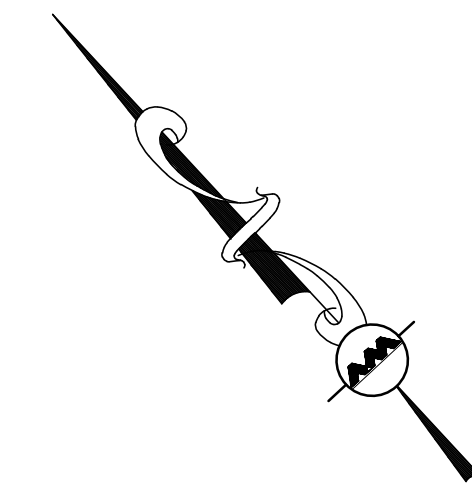
LEGEND

TUBULAR BARRIER

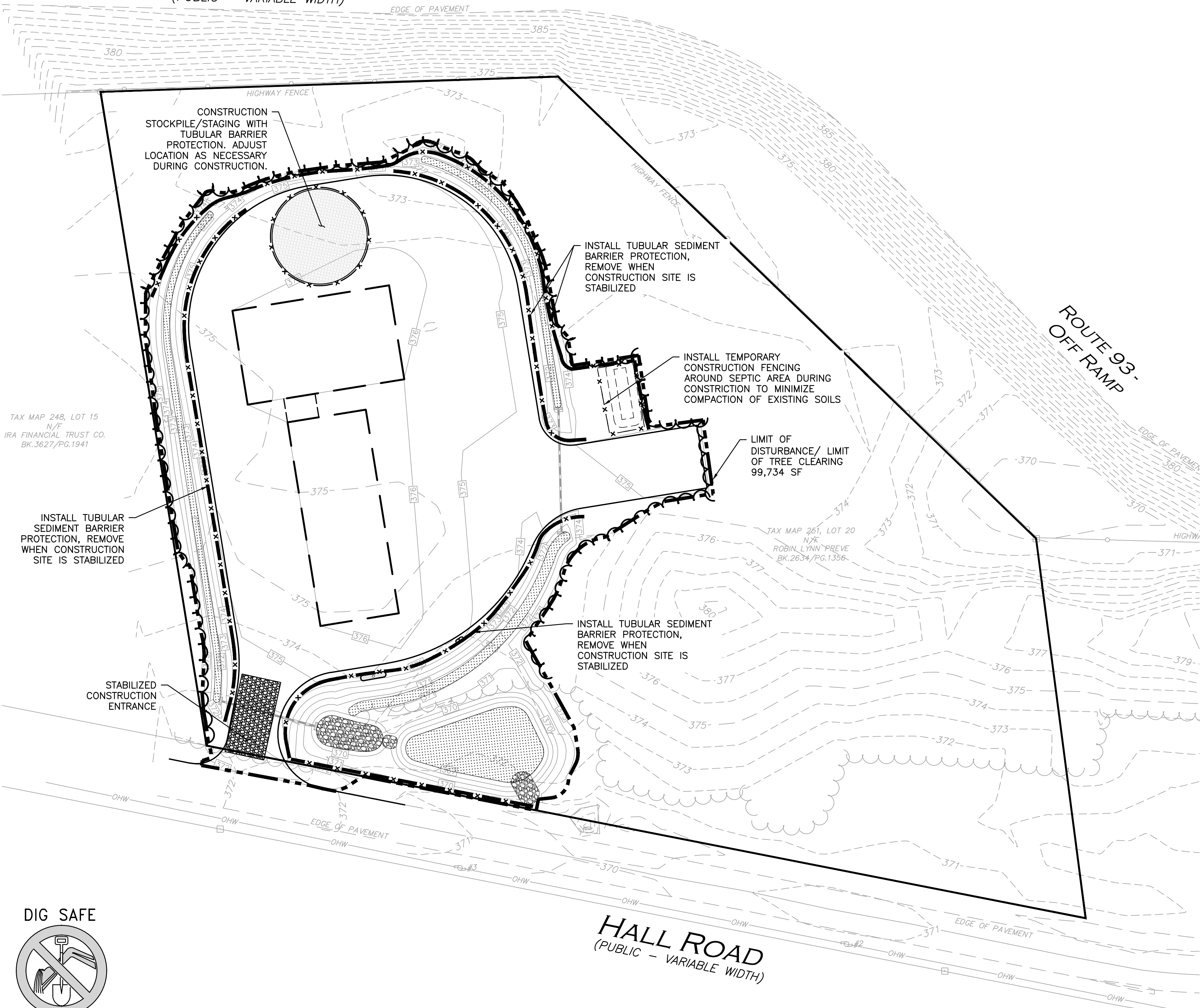
STABILIZED ENTRANCE

STOCKPILE/STAGING AREA

TEMPORARY CONSTRUCTION FENCE



INTERSTATE ROUTE 93
(PUBLIC - VARIABLE WIDTH)

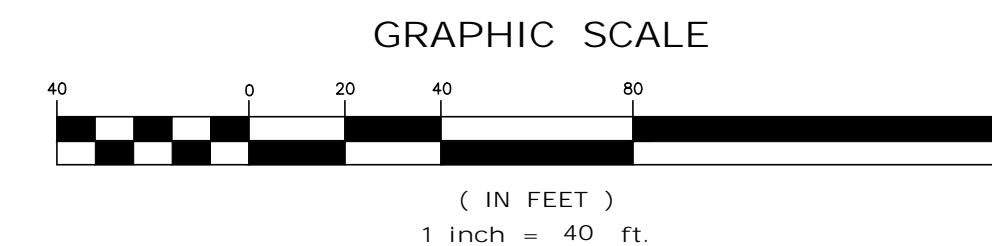


EROSION CONTROL AND SEDIMENT CONTROL NOTES:

1. AS CONSTRUCTION DISTURBANCE IS GREATER THAN 1 ACRE, A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT NOI, IS REQUIRED. A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO MOBILIZATION.
2. CONTRACT ADMINISTRATOR AND CONTRACTOR ARE RESPONSIBLE FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT NOI. COPIES OF ALL SWPPP REPORTS SHALL BE KEPT ONSITE AND MADE AVAILABLE FOR INSPECTION BY LOCAL, STATE, AND FEDERAL AGENCIES.
3. SILT CONTROL SHALL BE INSTALLED PRIOR TO DISTURBANCE AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS TO SILT CONTROLS SHOWN ON THE APPROVED PLANS AS A RESULT OF ACTUAL FIELD CONDITIONS OR CONSTRUCTION PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH "NEW HAMPSHIRE STORMWATER MANUAL VOLUMES 1, 2, AND 3" DATED DECEMBER 2008.. ANY SUCH MODIFICATIONS SHALL BE INSTALLED AS APPROVED BY THE ENGINEER.
4. THE CONTRACTOR SHALL CONDUCT INSPECTIONS WITHIN 24 HOURS OF RAINFALL EVENTS GREATER THAN 0.25" IN ADDITION TO INSPECTIONS EVERY 7 DAYS (WEEKLY) & MAINTAIN A LOG IN ACCORDANCE WITH EPA, AND CONTRACT ADMINISTRATOR.
5. AREAS OF EXPOSED SOIL UNDERGOING CONSTRUCTION THAT WILL NOT BE COVERED AND OR FINISHED GRADED WITHIN 7 DAYS OF EXPOSURE SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL MEASURES.
6. IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY SEPTEMBER 15 OF THE CONSTRUCTION YEAR, THEN ALL DISTURBED AREAS SHALL BE SEED WITH A WINTER COVER CROP AT THE RATE OF 3 LBS PER 1,000 SQUARE FEET. WINTER SEEDING SHALL BE COVERED WITH EROSION CONTROL MESH (MULCH AND NETTING).
7. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH STRAW AND MULCH (AT 100LBS/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEED WITH WINTER RYE (FOR FALL SEEDING AT 3LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH STRAW MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE CONTRACT ADMINISTRATOR AND ENGINEER.
8. ALL TUBULAR BARRIERS, SILT SACKS, AND FILTER FABRICS SHALL BE INSTALLED ACCORDING TO THIS PLAN. THESE SHALL BE MAINTAINED DURING CONSTRUCTION TO REMOVE SEDIMENT FROM RUNOFF WATER. ALL THE EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85-90% VIGOROUS PERENNIAL COVER OF GRASSES.
9. A WATERING TRUCK WILL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS AND AS REQUIRED.
10. THE CONTRACTOR SHALL USE EXTREME CAUTION TO AVOID ALLOWING SEDIMENTS TO ENTER THE STORM DRAIN SYSTEM DURING CONSTRUCTION. CATCH BASIN INLETS SHALL ALSO BE PROTECTED DURING CONSTRUCTION BY THE USE OF STRAW BALE BARRIERS AROUND EACH INLET. SILT SACKS SHALL BE INSTALLED IN ALL EXISTING AND INSTALLED BASINS. INLET PROTECTION MAY BE REMOVED ONLY AFTER FINISHED AREAS ARE PAVED AND THE VEGETATED SLOPES ARE ESTABLISHED WITH AT LEAST 85-90% OF VIGOROUS PERENNIAL GROWTH.
11. REVEGETATION MEASURES SHALL COMMENCE IMMEDIATELY UPON THE COMPLETION OF CONSTRUCTION. FOLLOWING SEED BED PREPARATION ALL AREAS NOT NOTED TO RECEIVE COVER SHALL BE LOAM AND SEED. AREAS SEED BETWEEN MAY 15 TO AUGUST 15TH SHALL BE COVERED WITH STRAW MULCH. VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA SHALL BE ACHIEVED PRIOR TO OCTOBER 15TH. STRAW MULCHES SHALL BE ANCHORED WITH MULCH NETTING OR TACKIFIER SO THAT THEY ARE NOT BLOWN AWAY BY WIND OR WASHED AWAY BY FLOWING WATER. STRAW MULCH SHALL BE APPLIED AT A RATE OF 1.5 TO 2 TONS PER ACRE OR 70 TO 90 LBS. PER 1,000 S.F.
12. IN LIEU OF SOIL TESTS, SOIL AMENDMENTS FOR TEMPORARY SEEDING AREAS MAY BE APPLIED AS FOLLOWS:
 - 10-10-10 FERTILIZER (N-P205-K20 OR EQUAL): APPLICATION RATE= 25 LBS/1,000 S.F.
 - GROUND LIMESTONE (85% TOTAL CARBONATES): LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE: APPLICATION RATE= 100 LB/1,000 S.F.
 - WHEN FERTILIZER IS APPLIED WITHIN 100' OF ANY RIVER, STREAM, POND, OR LAKE IT SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER.
13. LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE PER SPECIFICATIONS. LOAM SHALL BE FREE OF SOIL, CLAY LUMPS, STONES AND OTHER OBJECTS OVER 1 INCH IN DIAMETER, AND WITHOUT WEEDS, ROOTS OR OTHER DELETERIOUS MATERIAL AND MEET THE LOAM SPECIFICATION DETAIL.
14. EROSION CONTROL MESH SHALL BE APPLIED WHERE SLOPES EXCEED 3:1.
15. AT THE CONTRACT ADMINISTRATOR'S DISCRETION ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED TO MAINTAIN STABILITY OF EARTHWORKS AND FINISHED GRADED AREAS. THE CONTRACTOR, AT HIS EXPENSE, WILL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY ADDITIONAL MEASURES AS SPECIFIED BY THE CONTRACT ADMINISTRATOR. THIS INCLUDES BUT IS NOT LIMITED TO REQUESTS BY EPA, THE ENGINEER AND THE MUNICIPALITY, AS AUTHORIZED BY THE CONTRACT ADMINISTRATOR.
16. IF ANY EVIDENCE OF SEDIMENTATION IS OBSERVED IN THE INLETS, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROVIDE A PLAN TO THE ENGINEER TO REMOVE ANY ACCUMULATED SEDIMENT IN THESE AREAS. THE CONTRACTOR SHALL ALSO IMMEDIATELY PROVIDE ADDITIONAL ON SITE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT FURTHER DEGRADATION OF THE AREA.
17. FOLLOWING THE TEMPORARY OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA BIMONTHLY TO ENSURE THE AREAS HAVE A MINIMUM OF 85-90% VEGETATED VIGOROUS GROWTH. RESEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.
18. THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
19. THE CONTRACTOR SHALL INSTALL ADDITIONAL SEDIMENT CONTROL MEASURES AS DETERMINED NECESSARY AND AT THE REQUEST OF THE TOWN'S SITE INSPECTOR OR REPRESENTATIVE.
20. THE CONTRACTOR SHALL STORE ADDITIONAL SEDIMENT CONTROLS ON-SITE TO BE USED FOR REPLACING DAMAGED SEDIMENT CONTROLS OR INSTALLED AS DIRECTED BY THE TOWN'S INSPECTOR TO PROVIDE ADDITIONAL PROTECTIVE MEASURES.

SPILL PREVENTION AND RESPONSE NOTES:

- SOURCES OF POTENTIAL SPILL HAZARDS INCLUDE VEHICLE FLUIDS, LIQUID FUELS, PESTICIDES, PAINTS, SOLVENTS, AND LIQUID CLEANING PRODUCTS. THE MAJORITY OF THE SPILL HAZARDS WOULD LIKELY OCCUR WITHIN THE BUILDING AND WOULD NOT ENTER THE STORMWATER DRAINAGE SYSTEM. HOWEVER, THERE ARE SPILL HAZARDS FROM VEHICLE FLUIDS OR LIQUID FUELS LOCATED OUTSIDE OF THE BUILDINGS. THESE EXTERIOR SPILL HAZARDS HAVE THE POTENTIAL TO ENTER THE STORMWATER DRAINAGE SYSTEM AND ARE TO BE ADDRESSED AS FOLLOWS:
1. SPILL HAZARDS OF PESTICIDES, PAINTS, AND SOLVENTS SHALL BE REMEDIATED USING THE MANUFACTURERS' RECOMMENDED SPILL CLEANUP PROTOCOL.
 2. VEHICLE FLUIDS AND LIQUID FUEL SPILL SHALL BE REMEDIATED ACCORDING TO THE LOCAL AND STATE REGULATIONS GOVERNING FUEL SPILLS.
 3. THE CONTRACT ADMINISTRATOR SHALL ENSURE THAT THE GENERAL CONTRACTOR HAS THE FOLLOWING EQUIPMENT AND MATERIALS ON HAND TO ADDRESS A SPILL CLEAN-UP: BROOMS, DUST PANS, MOPS, RAGS, GLOVES, ABSORPTIVE MATERIAL, SAND, SAWDUST, PLASTIC AND METAL TRASH CONTAINERS.
 4. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
 5. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED, REGARDLESS OF SIZE, TO THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES AT (603) 271-3440 AND THE CITY OF CONCORD FIRE DEPARTMENT AT 603-225-8650.
 6. SHOULD A SPILL OCCUR, THE POLLUTION PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT ANOTHER SPILL OF A SIMILAR NATURE. A DESCRIPTION OF THE SPILL, ALONG WITH THE CAUSES AND CLEANUP MEASURES WILL BE INCLUDED IN THE UPDATED POLLUTION PREVENTION PLAN.



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1-888-344-7233



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	5-17-2021	ISSUED FOR REVIEW

APPLICANT/OWNER:
STATION MEADOW, LLC
4 DUNLAP ROAD
BURLINGTON, MA 01803

PROJECT:
TAX MAP 251, LOT 18
HALL ROAD
CANTERBURY, NH

PROJECT NO.	2915-01	DATE:	5/17/2021
SCALE:	1" = 40'	DWG. NAME:	C2915-01
DESIGNED BY:	ARM	CHECKED BY:	MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying environmental consulting • landscape architecture
www.allenmajor.com
400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500
FAX: (603) 627-5501

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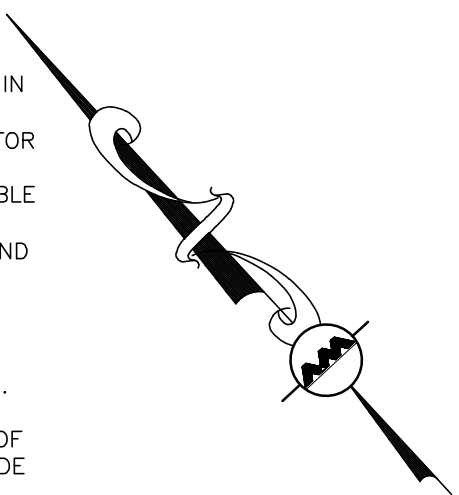
DRAWING TITLE:	SHEET No.
EROSION CONTROL PLAN	C-103

LUMINAIRE SCHEDULE								
SYMBOL	LABEL	QTY	ARRANGEMENT	DESCRIPTION	[LUMCAT]	ARR. LUM. LUMENS	ARR. WATTS	LLF
⊖	LE	5	SINGLE	LEO AREA LIGHT, TYPE 4, CLEAR LENS, 16FT SENS HEIGHT	LE350-T4-HO-CLR	7726	73	0.850
⊖	TUMBLER	8	WALL	TUMBLER, TYPE 2, CLEAR LENS, WALL MOUNT	TML-16-A-1-TII-CLR	1739	20	0.850

CALCULATION SUMMARY							
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
ALL CALCULATION POINTS	ILLUMINANCE	FC	0.41	5.8	0.0	N.A.	N.A.

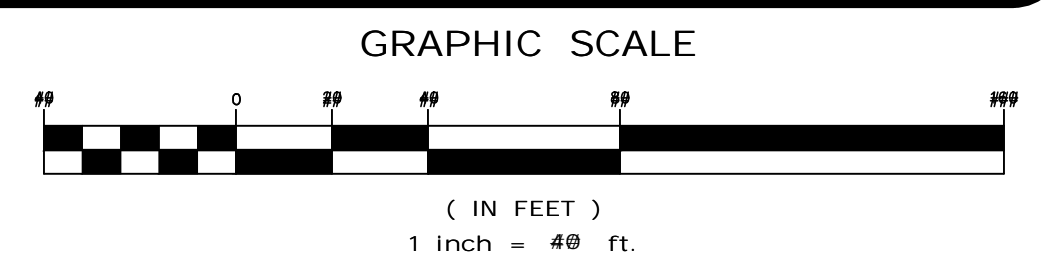
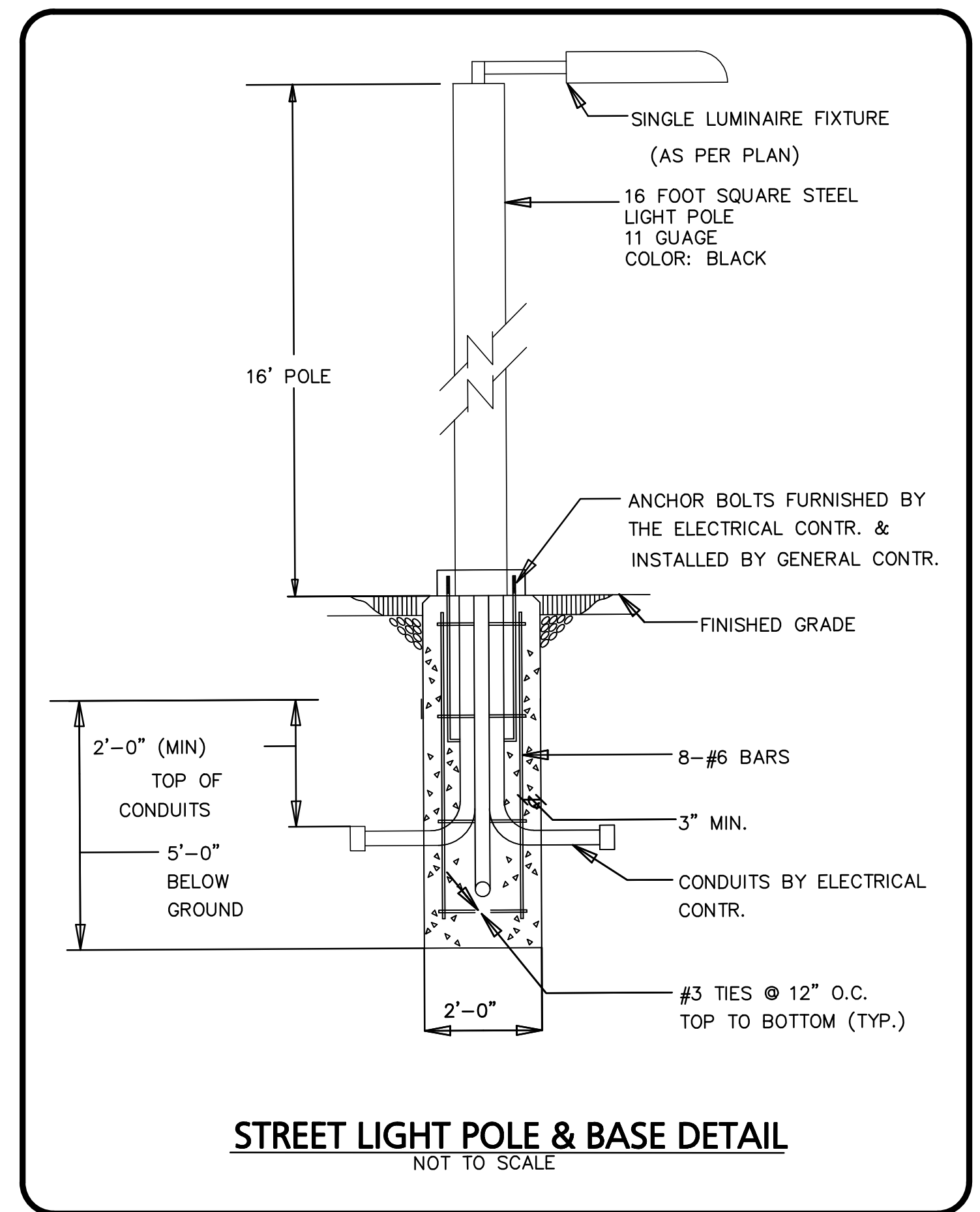
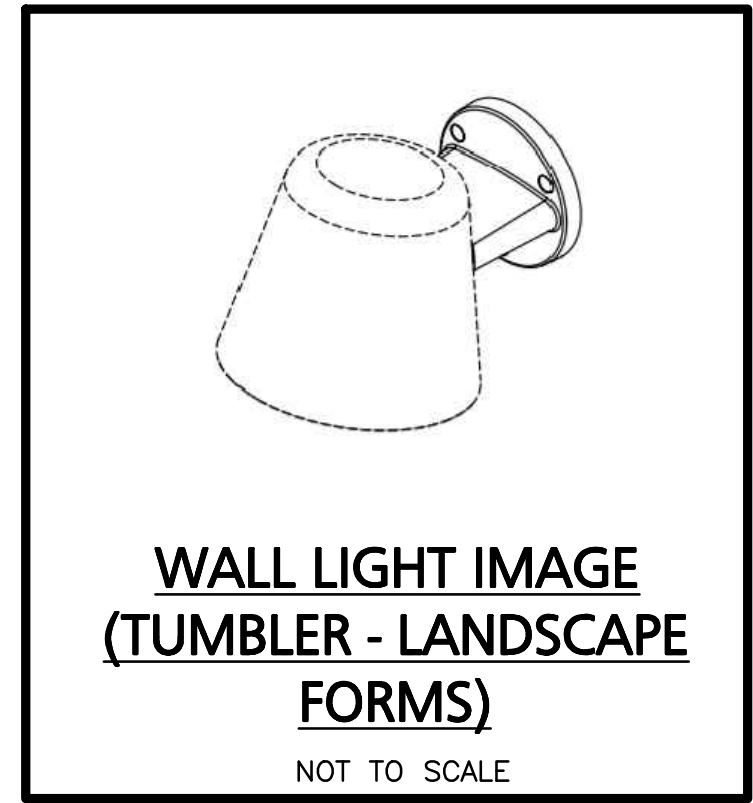
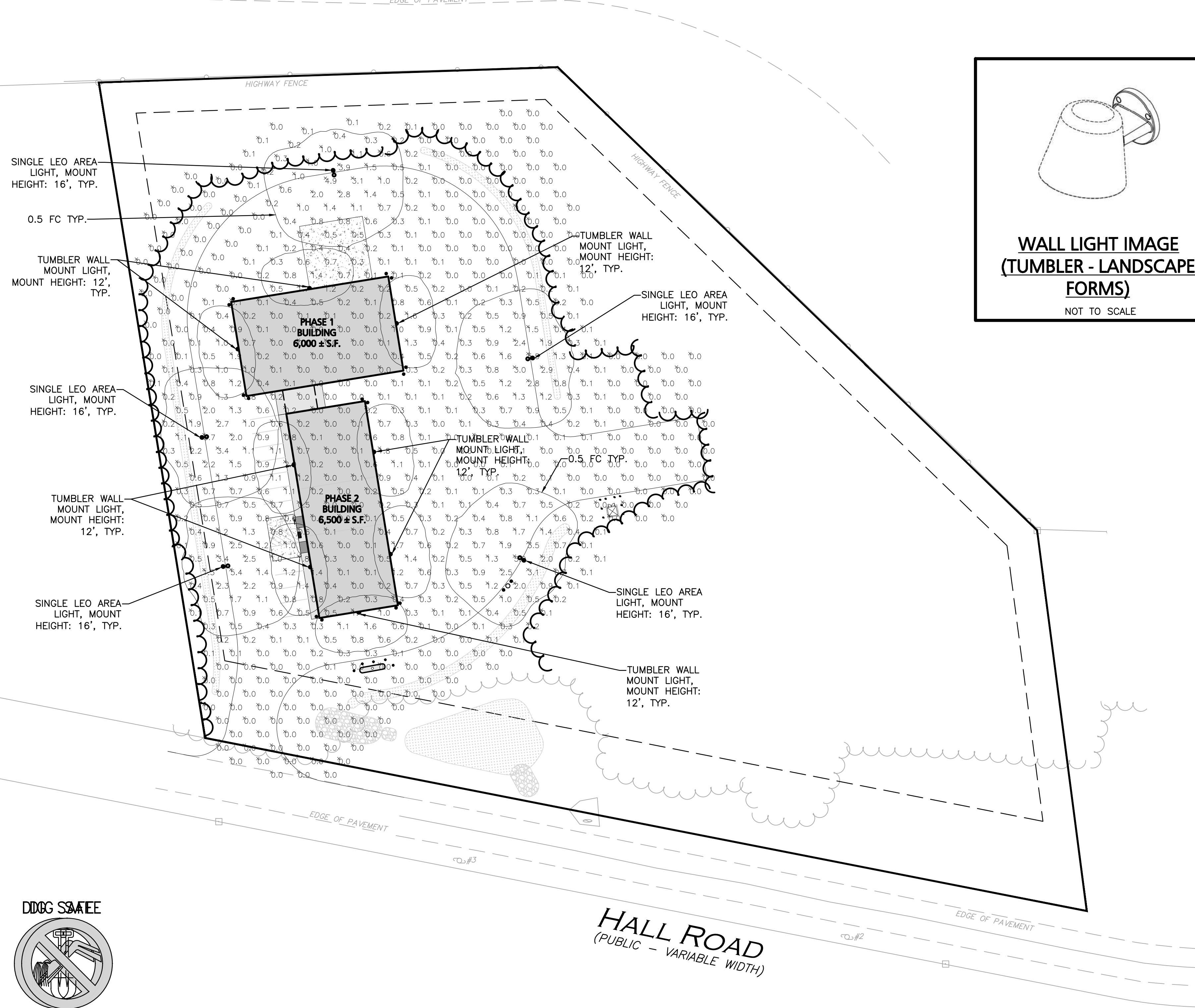
LEGEND	
TYPE 'B' SINGLE POLE LIGHT	⊖
WALL MOUNT LIGHT	⊖
LIGHTING LEVELS GIVEN IN FOOT-CANDLES	0.0 0.1 0.2 0.4 0.6

- NOTES:**
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 2. CONTROLS FOR ALL EXTERIOR LIGHTING BY BUILDING CONTRACTOR.
 3. WIRING OF BUILDING MOUNTED FIXTURES BY BUILDING CONTRACTOR.
 4. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



INTERSTATE ROUTE 93

(PUBLIC - VARIABLE WIDTH)



DDG SCALE

BERNARDY OUDING
 CALLS 81 10BR
 1-800-886-6666
 1-800-834-4723

HALL ROAD

(PUBLIC - VARIABLE WIDTH)

PHOTOMETRICS PREPARED BY:
 LANDSCAPE FORMS
 7800 E. MICHIGAN AVENUE
 KALAMAZOO, MI 49048
 800-430-6209
 landscapeforms.com

REV	DATE	DESCRIPTION
1	5-17-2021	ISSUED FOR REVIEW

APPLICANT/OWNER:
STATION MEADOW, LLC
 4 DUNLAP ROAD
 BURLINGTON, MA 01803

PROJECT:
TAX MAP 251, LOT 18
HALL ROAD
CANTERBURY, NH

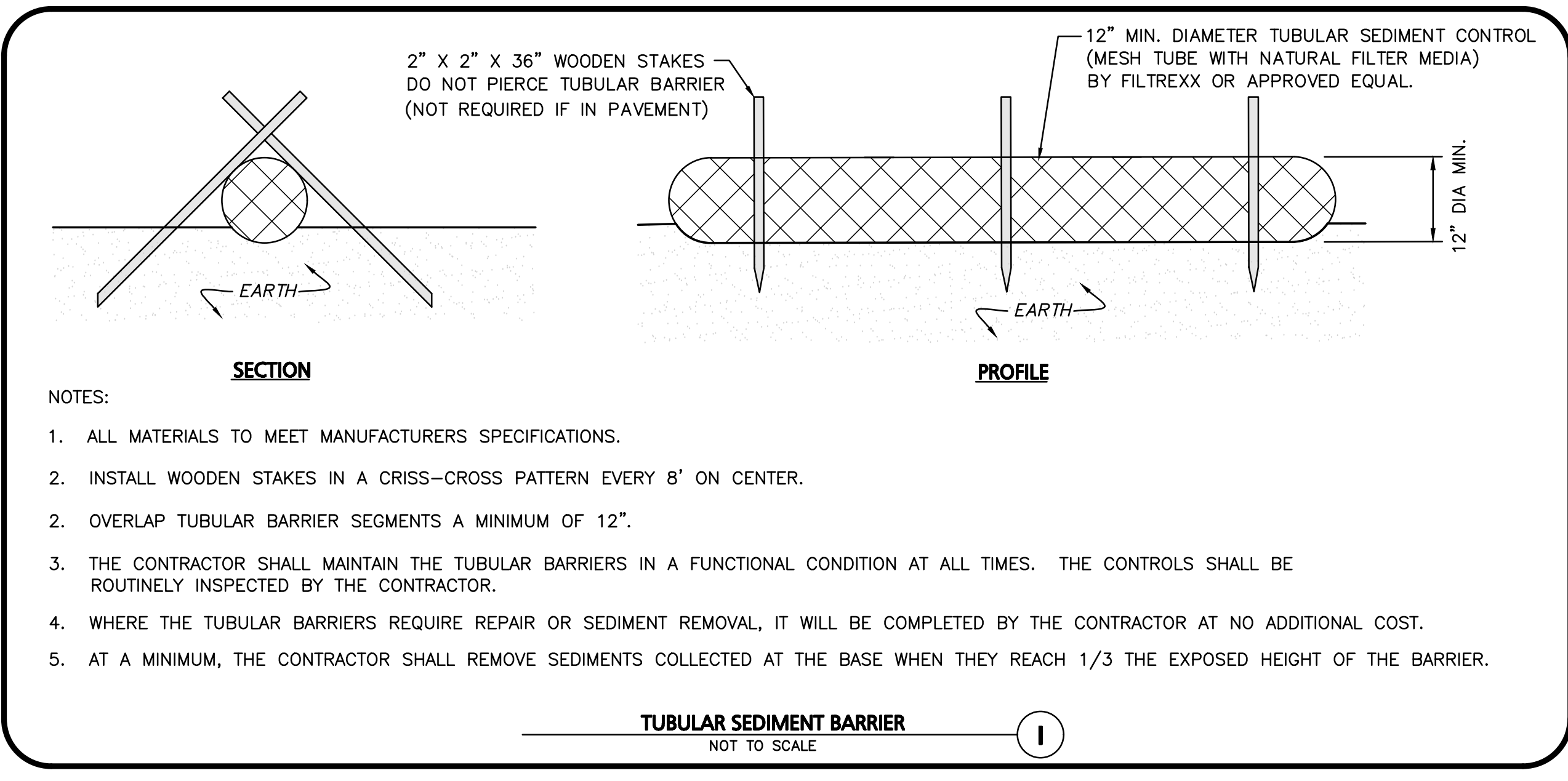
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DRAWING TITLE:	SHEET No.
SITE LIGHTING PLAN	C-105

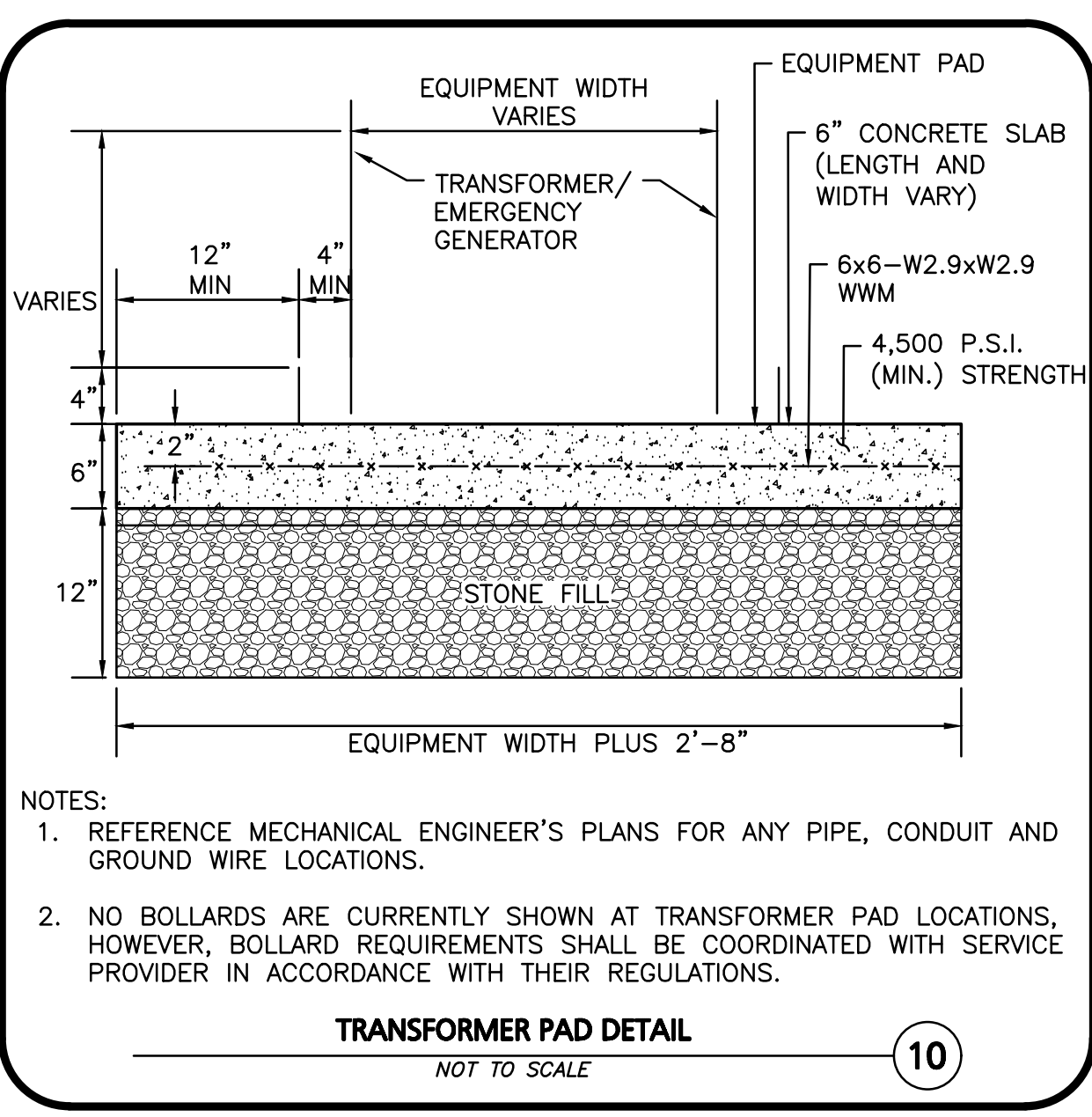
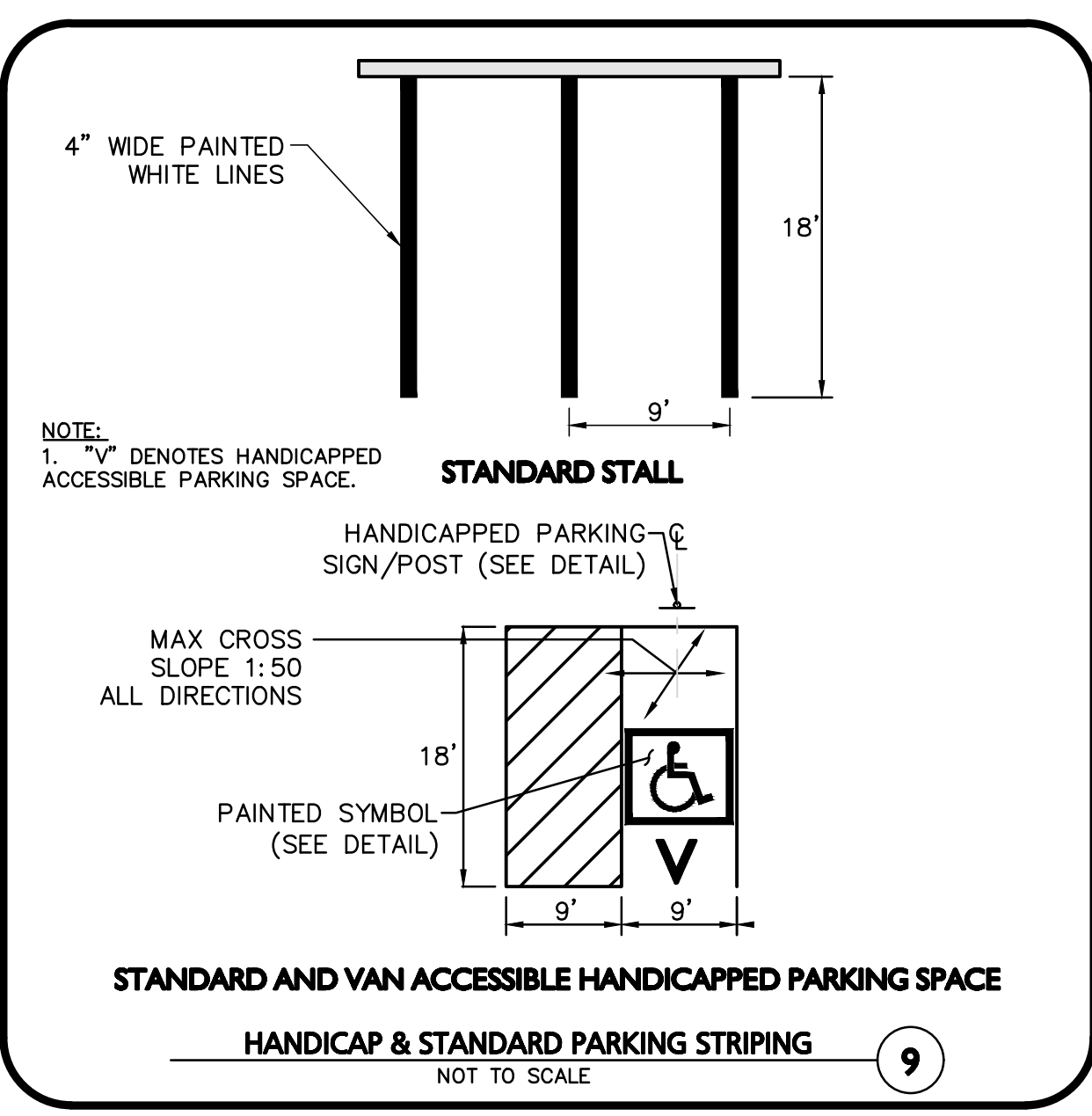
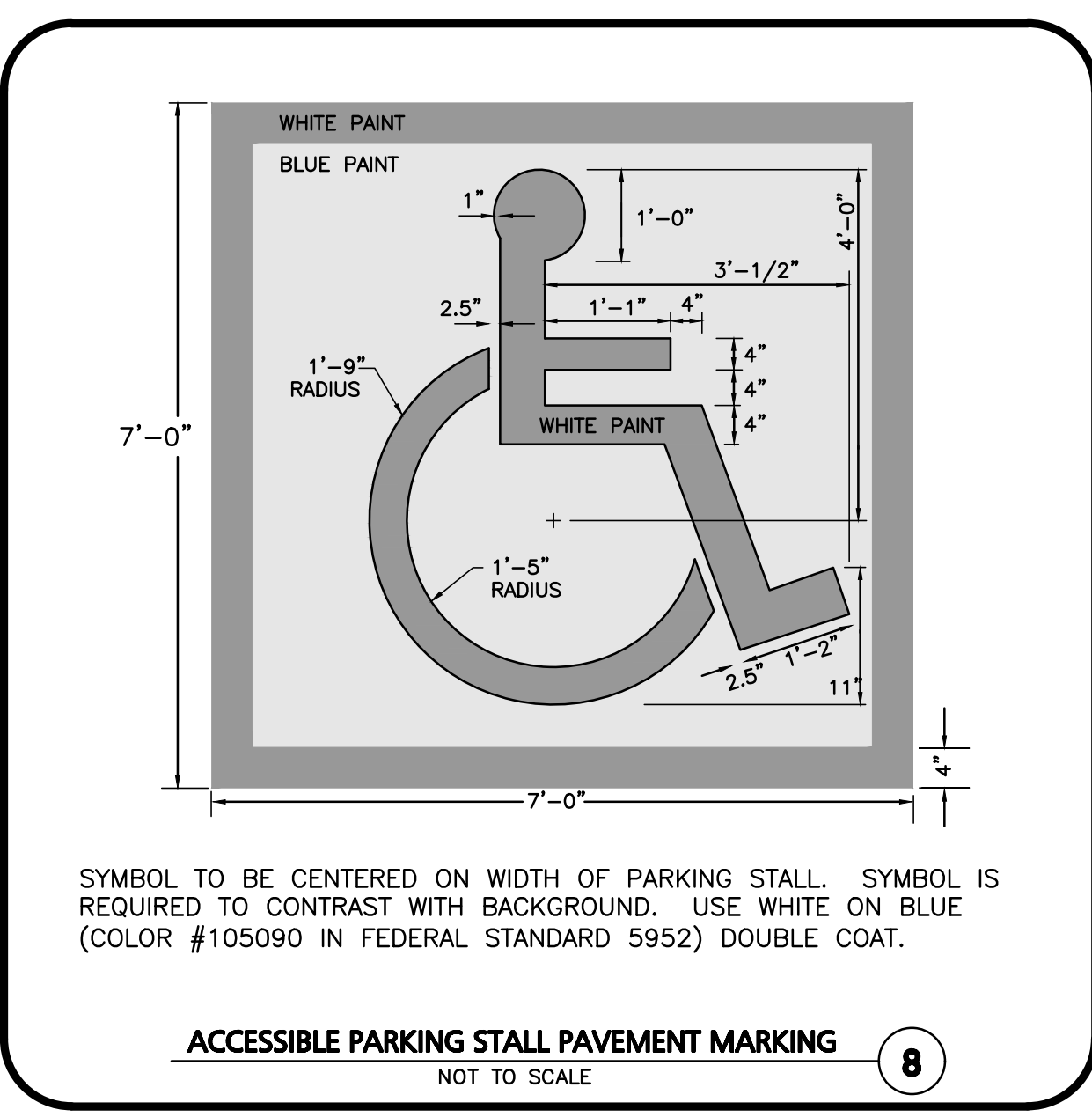
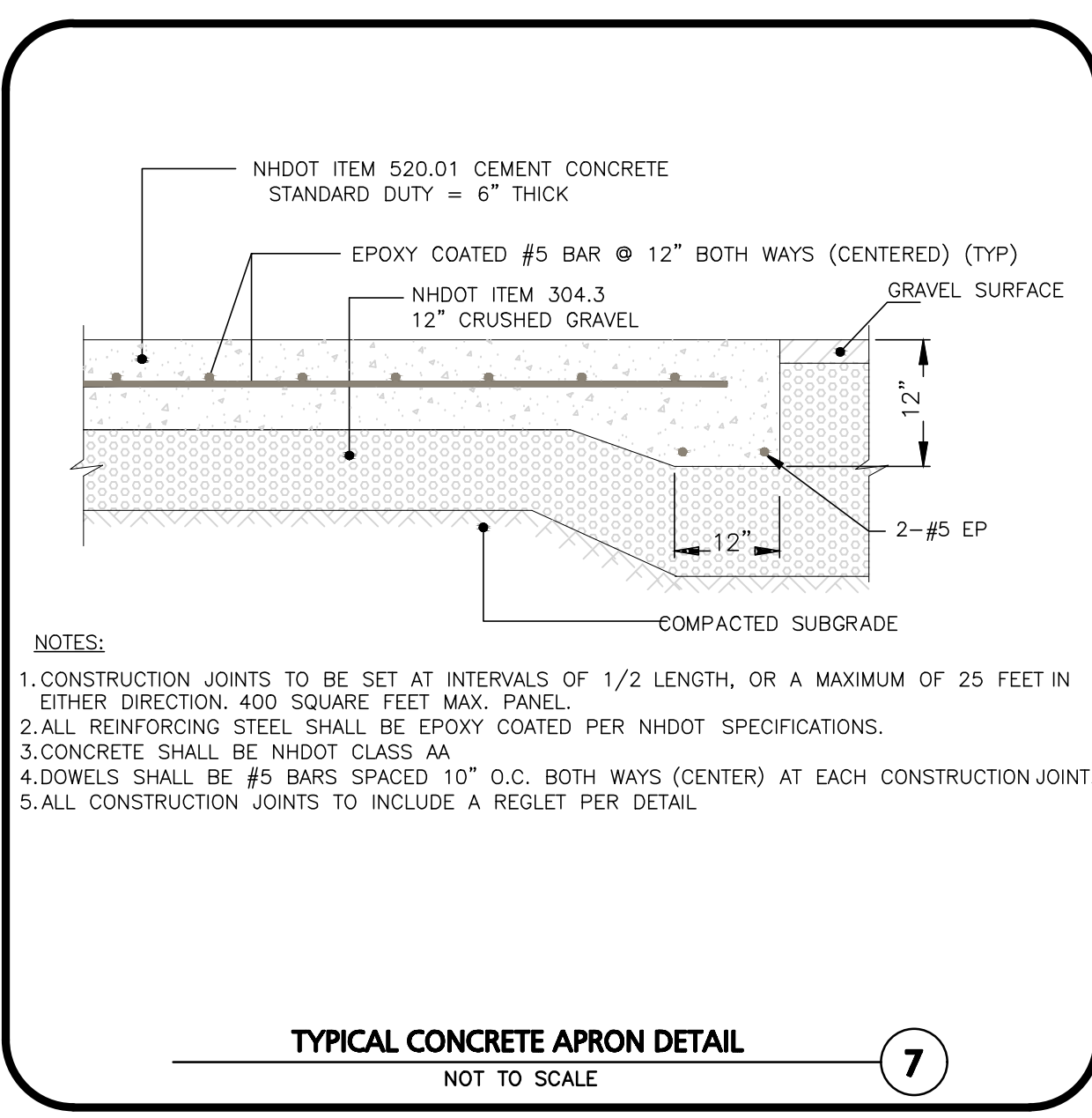
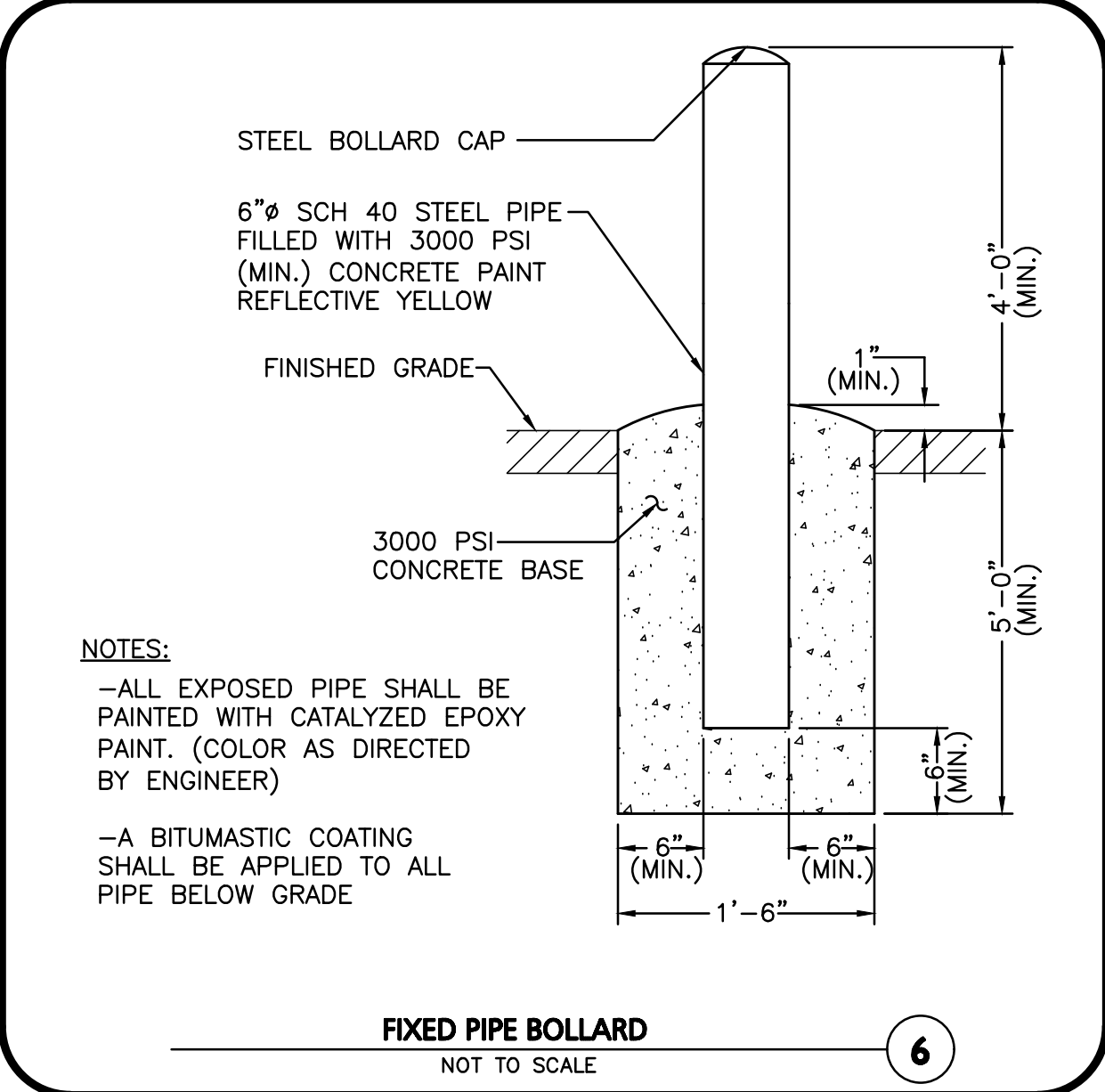
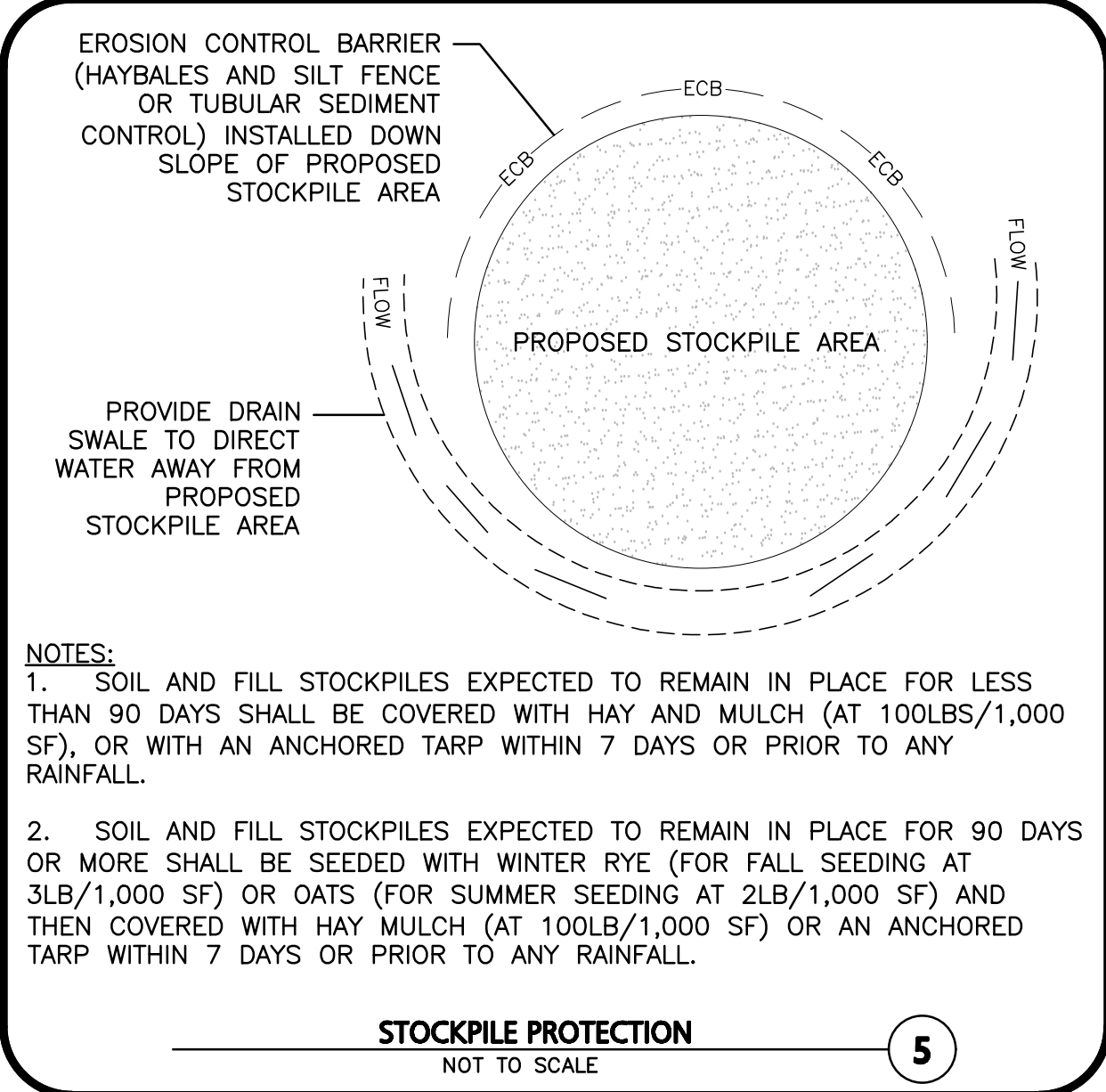
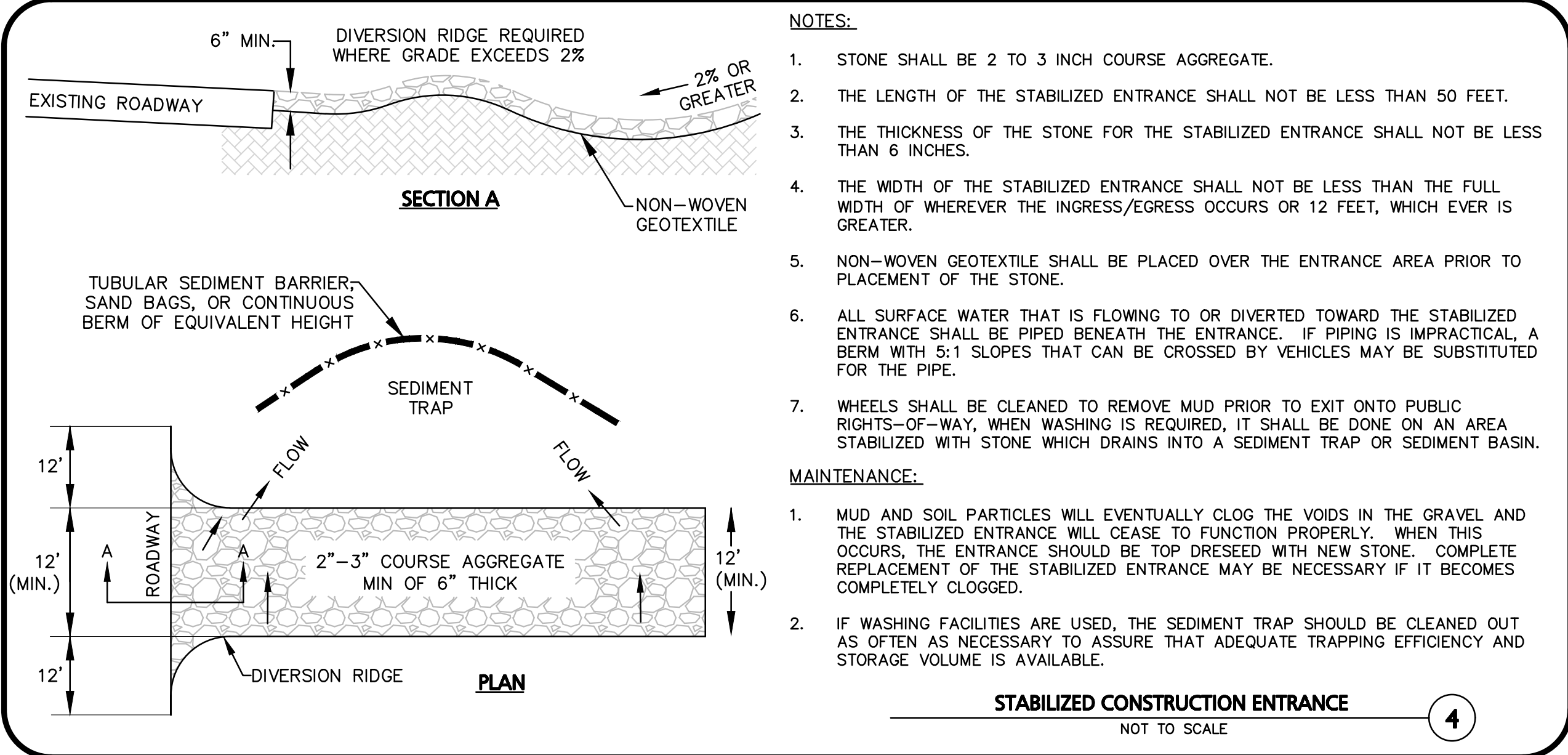
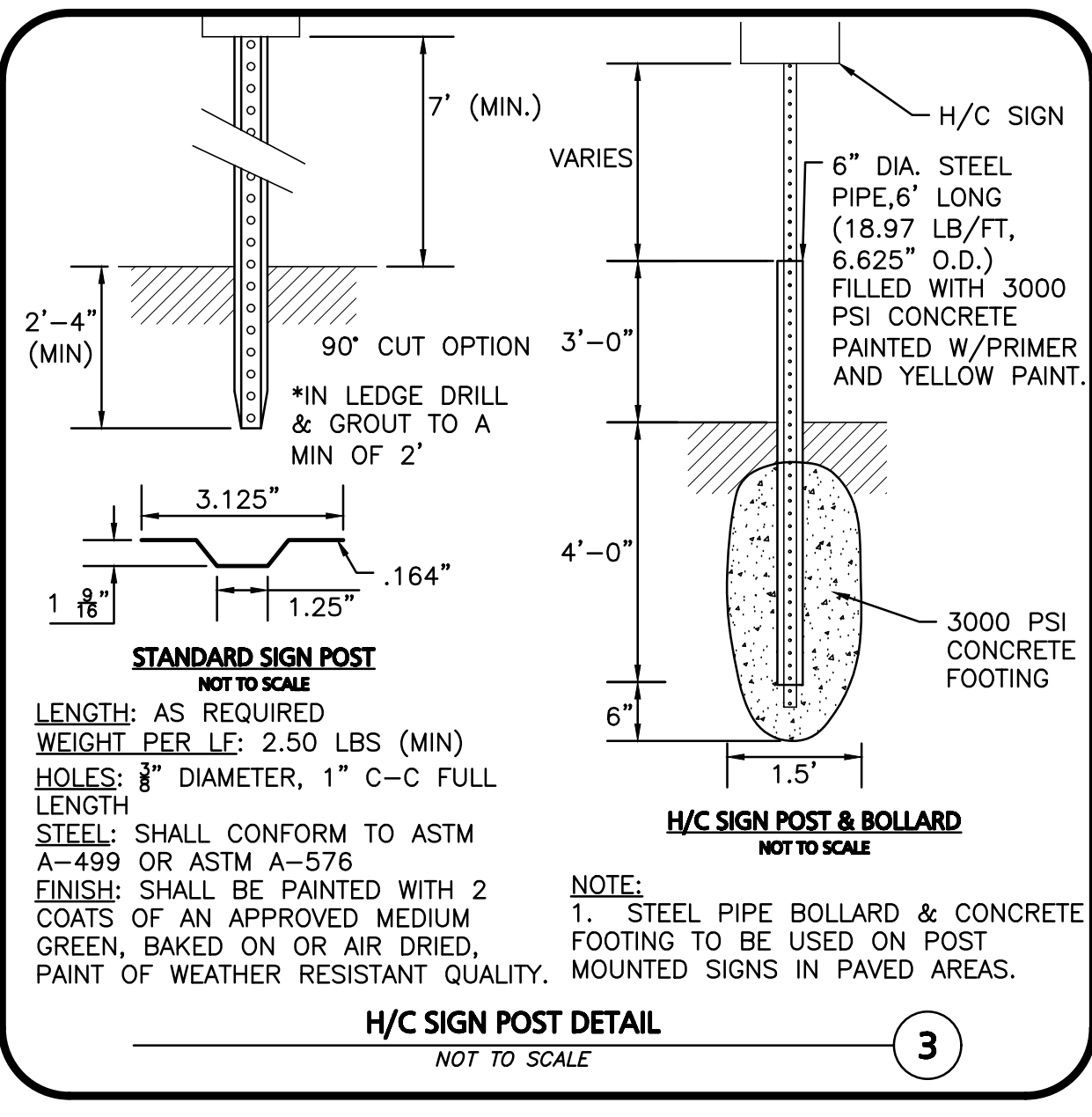


MUTCD NUMBER	SIGN	SIZE (MIN)	MOUNTING HEIGHT	DESCRIPTION	RETRO-REFLECTIVE
R7-8(M) (MODIFIED)		12"x24"	7' - 0"	RED ON WHITE	YES

NOTES:

1. TRAFFIC AND SAFETY SIGNAGE SHALL COMPLY WITH MUTCD STANDARDS.
2. WHERE APPLICABLE THE SIGN SUPPORT SHALL COMPLY WITH THE BREAKAWAY REQUIREMENTS OF THE LATEST EDITION OF AASHTO'S "SPECIFICATION FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES, AND TRAFFIC SIGNALS".

SIGN TABLE
NOT TO SCALE



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	5-17-2021	ISSUED FOR REVIEW

APPLICANT/OWNER:
STATION MEADOW, LLC
4 DUNLAP ROAD
BURLINGTON, MA 01803

PROJECT:
TAX MAP 251, LOT 18
HALL ROAD
CANTERBURY, NH

PROJECT NO.	DATE:
2915-01	5/17/2021

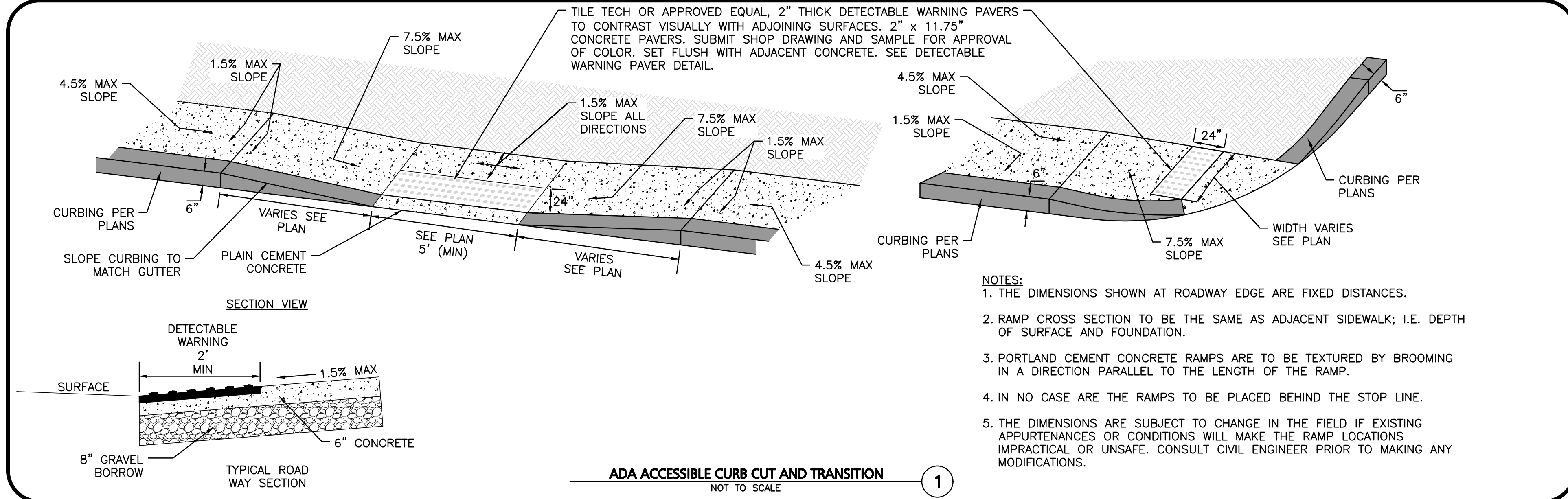
SCALE:	DWG. NAME:
AS SHOWN	C2915-01

DESIGNED BY:	CHECKED BY:
ARM	MAM

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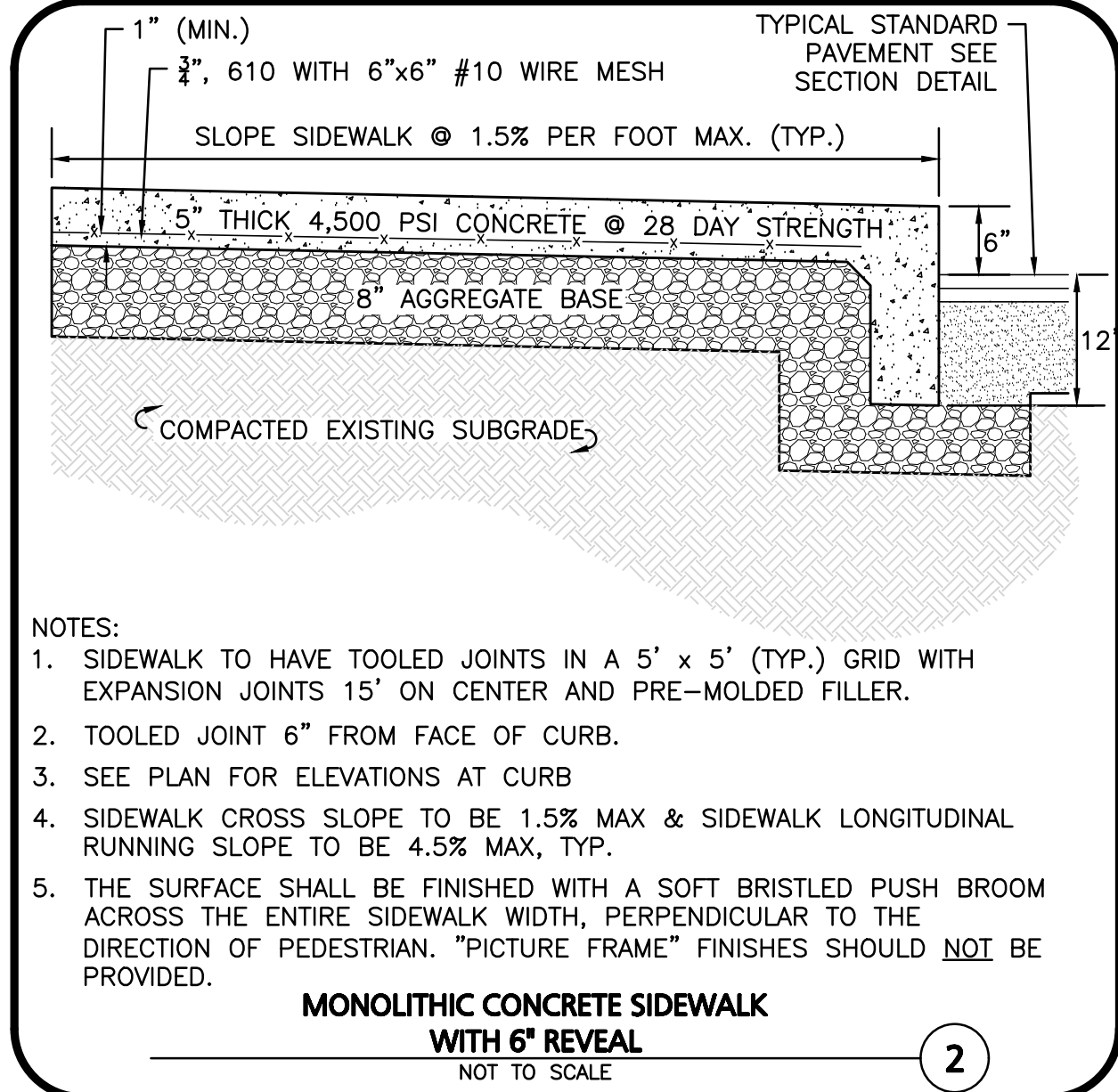
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DRAWING TITLE:	SHEET No.
DETAILS	C-501



- NOTES:**
1. THE DIMENSIONS SHOWN AT ROADWAY EDGE ARE FIXED DISTANCES.
 2. RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION.
 3. PORTLAND CEMENT CONCRETE RAMPS ARE TO BE TEXTURED BY BROOMING IN A DIRECTION PARALLEL TO THE LENGTH OF THE RAMP.
 4. IN NO CASE ARE THE RAMPS TO BE PLACED BEHIND THE STOP LINE.
 5. THE DIMENSIONS ARE SUBJECT TO CHANGE IN THE FIELD IF EXISTING APPURTENANCES OR CONDITIONS WILL MAKE THE RAMP LOCATIONS IMPRACTICAL OR UNSAFE. CONSULT CIVIL ENGINEER PRIOR TO MAKING ANY MODIFICATIONS.

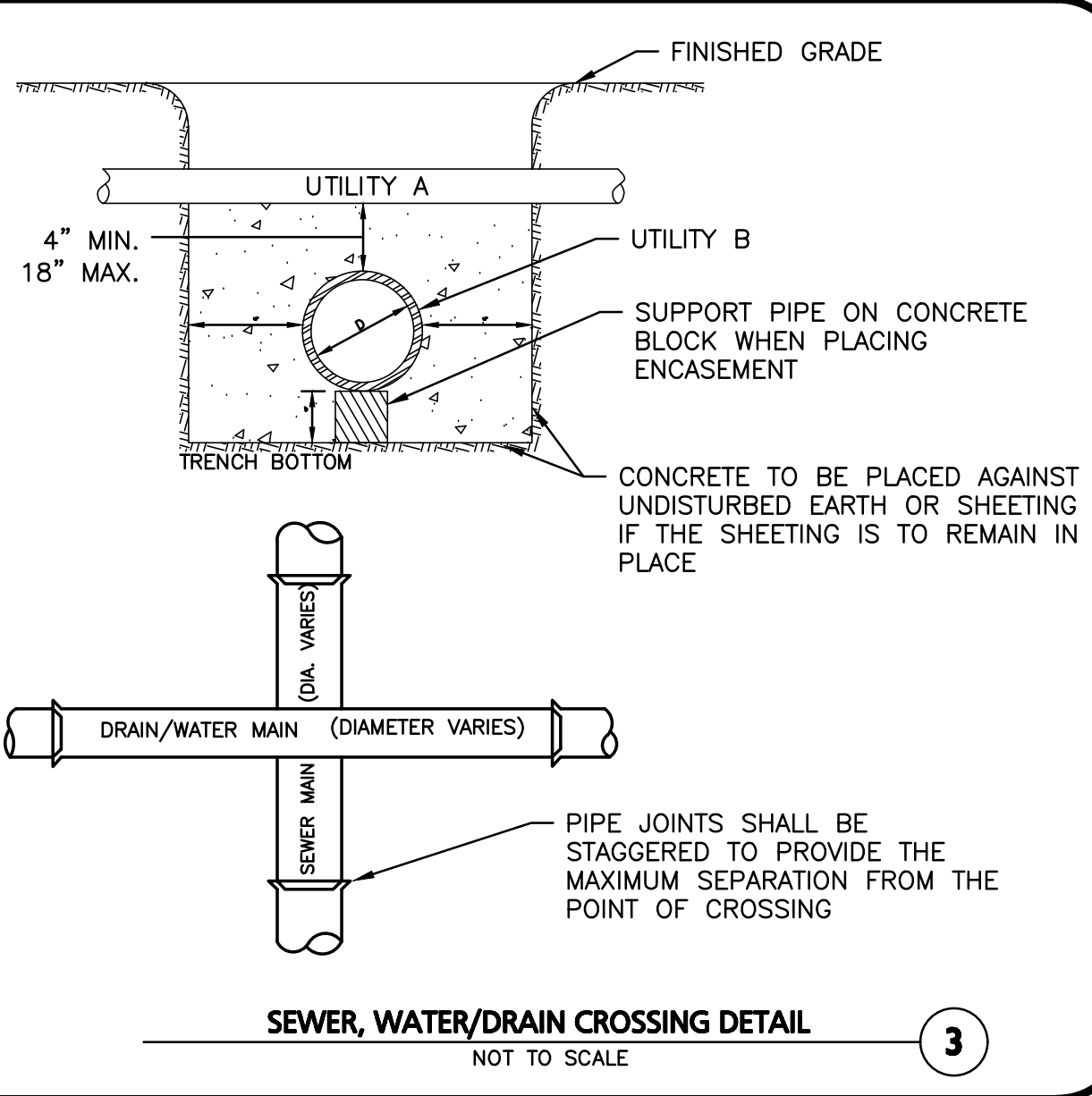
ADA ACCESSIBLE CURB CUT AND TRANSITION
NOT TO SCALE



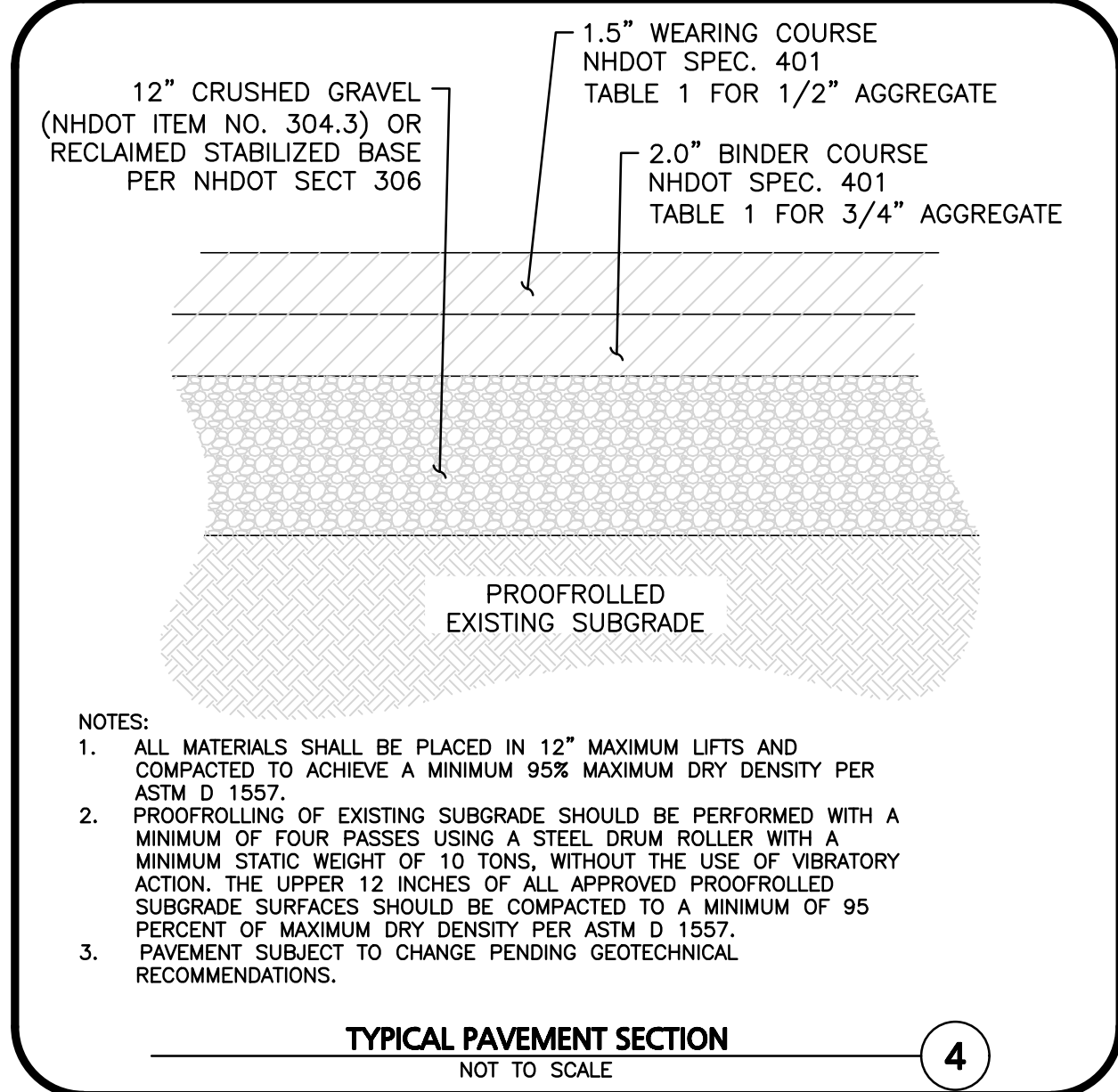
- NOTES:**
1. SIDEWALK TO HAVE TOOLED JOINTS IN A 5' x 5' (TYP.) GRID WITH EXPANSION JOINTS 15' ON CENTER AND PRE-MOLDED FILLER.
 2. TOOLED JOINT 6" FROM FACE OF CURB.
 3. SEE PLAN FOR ELEVATIONS AT CURB
 4. SIDEWALK CROSS SLOPE TO BE 1.5% MAX & SIDEWALK LONGITUDINAL RUNNING SLOPE TO BE 4.5% MAX, TYP.
 5. THE SURFACE SHALL BE FINISHED WITH A SOFT BRISTLED PUSH BROOM ACROSS THE ENTIRE SIDEWALK WIDTH, PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN. "PICTURE FRAME" FINISHES SHOULD NOT BE PROVIDED.

MONOLITHIC CONCRETE SIDEWALK WITH 6\"/>NOT TO SCALE

- NOTES:**
- WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET BETWEEN A SEWER MAIN AND A WATER/RAIN MAIN:
1. THE WATER/RAIN MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER/RAIN MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
 2. THE PIPE CROSSING SHALL OCCUR AS CLOSE TO 90° AS PRACTICABLE.
 3. THE PIPE JOINTS SHALL BE STAGGERED TO PROVIDE THE MAXIMUM SEPARATION FROM THE POINT OF CROSSING.
 4. THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 10 LINEAR FEET CENTERED ON THE CROSSING.
 5. UTILITIES A AND B CAN BE EITHER NEW OR EXISTING.
 6. WHEN ONE UTILITY IS A SANITARY SEWER, IT IS PREFERABLE TO BE POSITIONED AS SHOWN FOR UTILITY B.
 7. ENCASEMENT EXTENDS 10'-0" ON EACH SIDE OF THE CENTERLINE OF UTILITY A.
 8. PIPE MUST BE BRACED VERTICALLY AND HORIZONTALLY TO PREVENT FLOATATION DURING PLACEMENT OF CONCRETE.

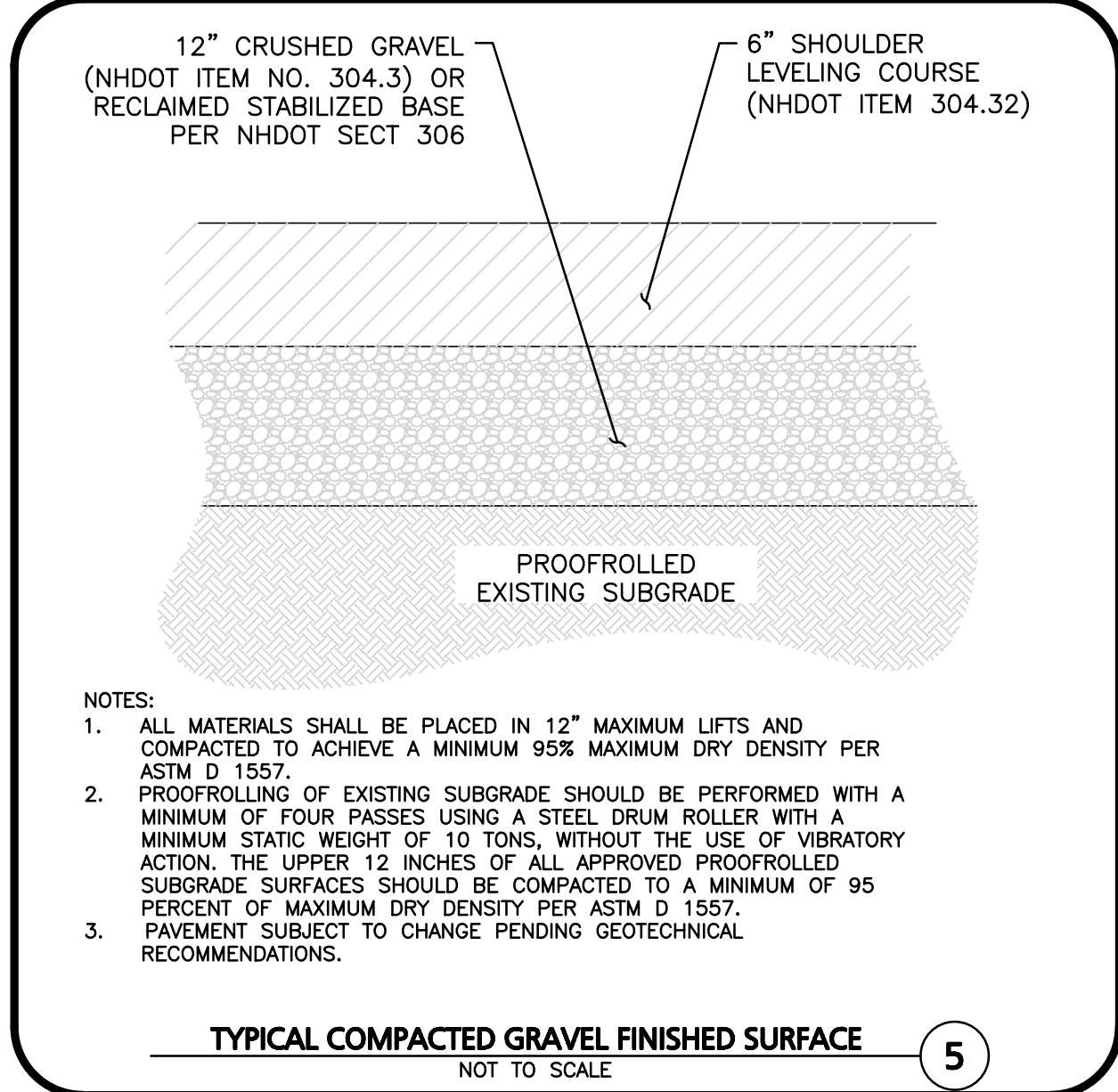


SEWER, WATER/RAIN CROSSING DETAIL
NOT TO SCALE



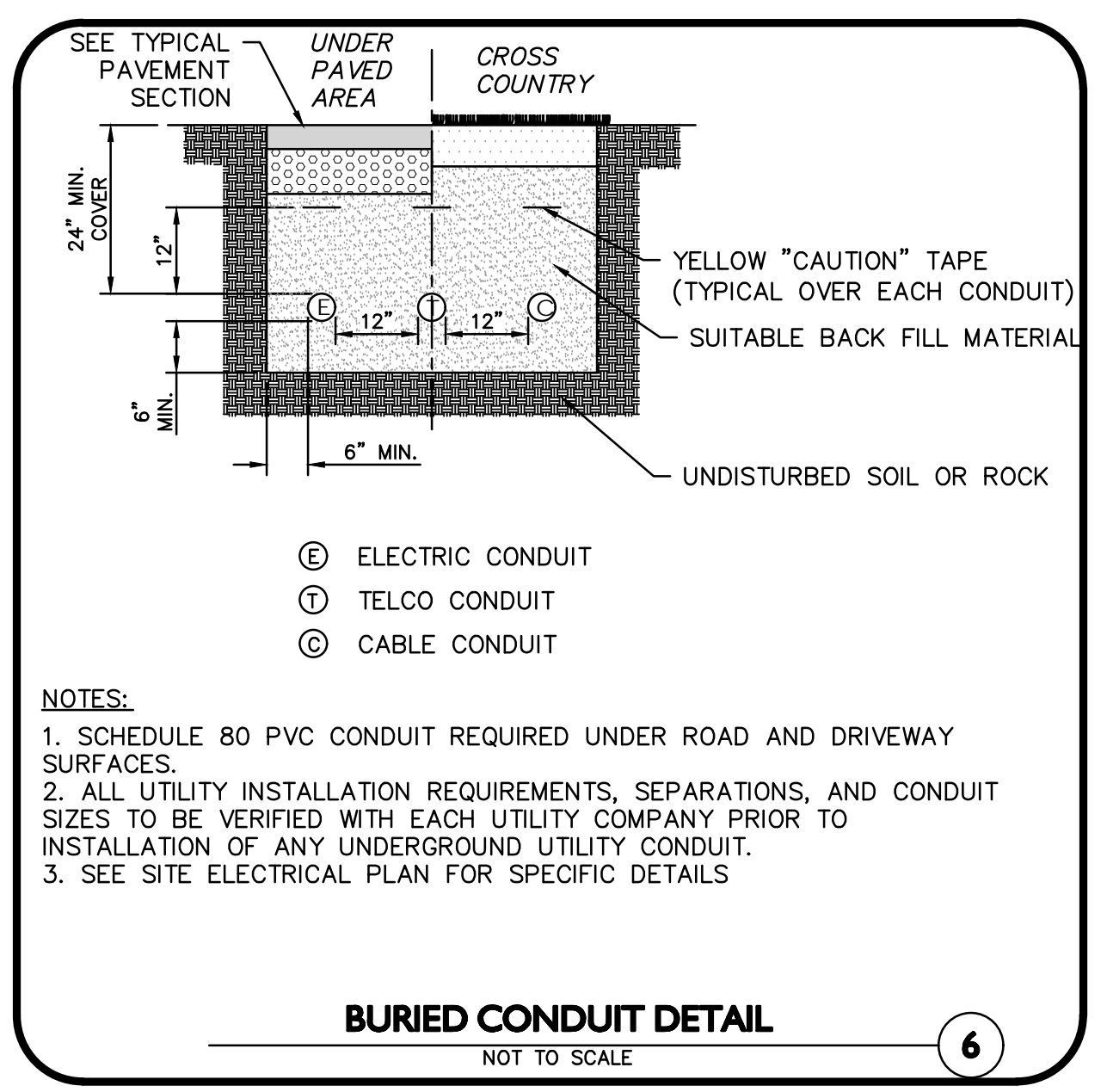
- NOTES:**
1. ALL MATERIALS SHALL BE PLACED IN 12" MAXIMUM LIFTS AND COMPACTED TO ACHIEVE A MINIMUM 95% MAXIMUM DRY DENSITY PER ASTM D 1557.
 2. PROOFROLLING OF EXISTING SUBGRADE SHOULD BE PERFORMED WITH A MINIMUM OF FOUR PASSES USING A STEEL DRUM ROLLER WITH A MINIMUM STATIC WEIGHT OF 10 TONS, WITHOUT THE USE OF VIBRATORY ACTION. THE UPPER 12 INCHES OF ALL APPROVED PROOFROLLED SUBGRADE SURFACES SHOULD BE COMPACTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY PER ASTM D 1557.
 3. PAVEMENT SUBJECT TO CHANGE PENDING GEOTECHNICAL RECOMMENDATIONS.

TYPICAL PAVEMENT SECTION
NOT TO SCALE



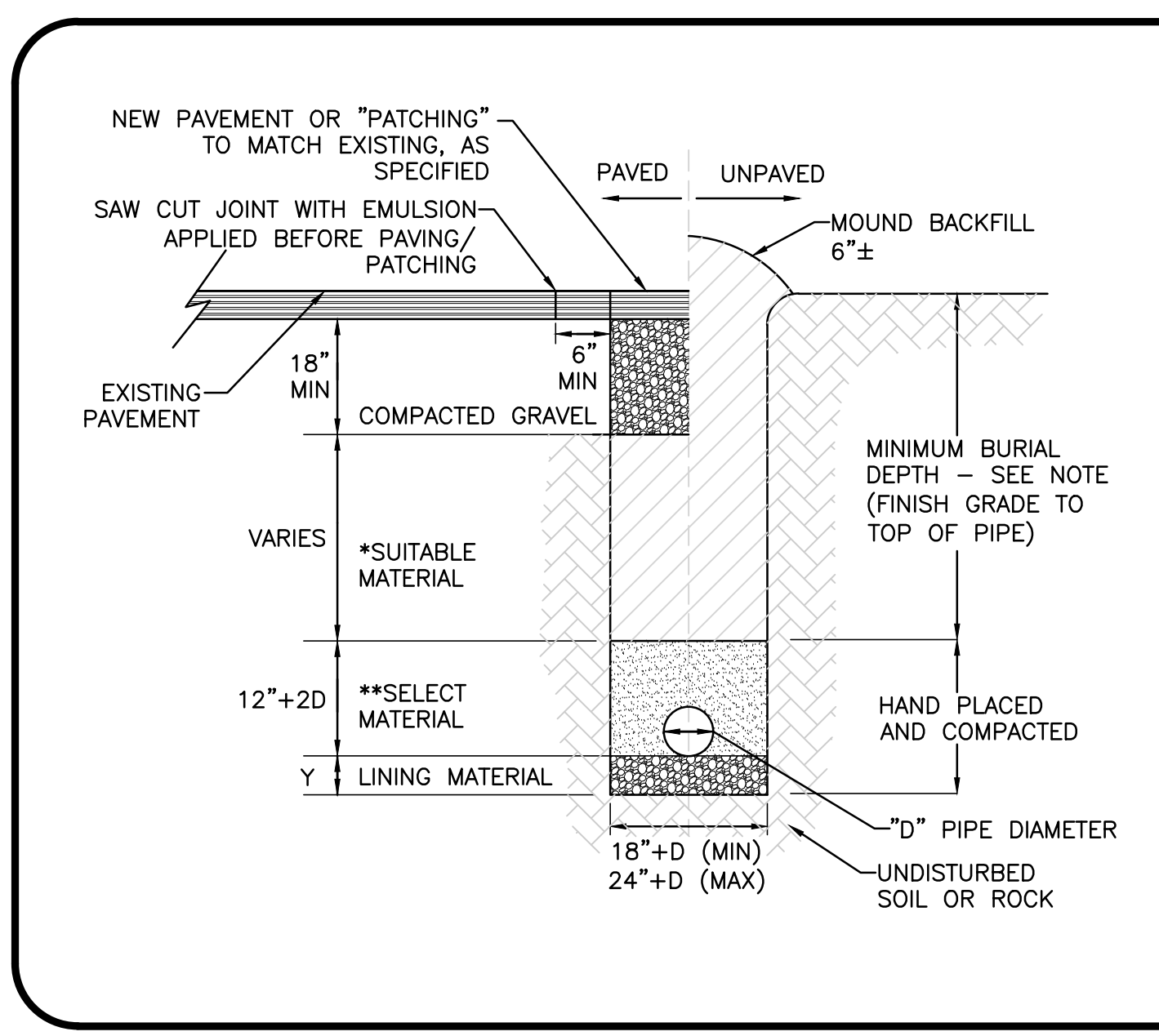
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 3. PAVEMENT SUBJECT TO CHANGE PENDING GEOTECHNICAL RECOMMENDATIONS.

TYPICAL COMPACTED GRAVEL FINISHED SURFACE
NOT TO SCALE



- NOTES:**
1. SCHEDULE 80 PVC CONDUIT REQUIRED UNDER ROAD AND DRIVEWAY SURFACES.
 2. ALL UTILITY INSTALLATION REQUIREMENTS, SEPARATIONS, AND CONDUIT SIZES TO BE VERIFIED WITH EACH UTILITY COMPANY PRIOR TO INSTALLATION OF ANY UNDERGROUND UTILITY CONDUIT.
 3. SEE SITE ELECTRICAL PLAN FOR SPECIFIC DETAILS

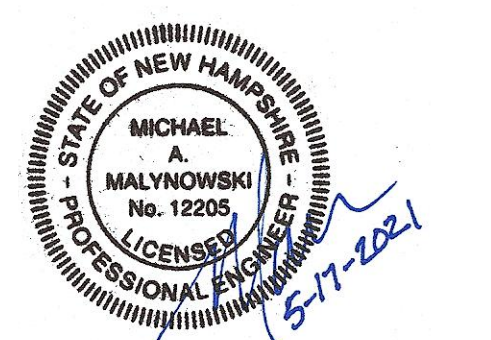
BURIED CONDUIT DETAIL
NOT TO SCALE



CONDITION & PIPE	**SELECT MATERIAL	LINING MATERIAL	Y-DIMENSION
DUCTILE IRON "ORDINARY SOIL"	TYPE I, II, OR III	SAND OR TYPE III	3"
RCP "ORDINARY SOIL"	TYPE II OR III	SAND OR TYPE III	3"
ALL PIPE OVER BEDROCK OR LEDGE	TYPE II OR III	SAND OR TYPE III	8"
DUCTILE IRON IN CLAY OR MUCK	TYPE II OR III	SAND	4"
RCP IN CLAY	TYPE II OR III	SAND	8"
ALL PLASTICS	TYPE III	SAND OR TYPE III	6"

- NOTES:**
1. MINIMUM BURIAL DEPTH (FINISH GRADE TO TOP OF PIPE) GRAVITY PIPE - SEE PLAN OR PROFILE
PRESSURE PIPE UNDER PAVING - 4'
PRESSURE PIPE BENEATH UNPAVED - 3'
 2. WHERE BACKFILL IS DESIGNATED AS COMPACTED, THIS MEANS 90 TO 95% STANDARD PROCTOR. AASHTO T-99. ALL FILL PLACED BELOW PIPES AND STRUCTURES MUST MEET THIS REQUIREMENT.
 3. FOR ALL TRENCHES WITH A GRADE GREATER THAN 4% AND/OR WHERE GROUNDWATER IS APPARENT, INSTALL CLAY DAMS AROUND THE PIPE AT 100' INTERVALS.
 4. BACKFILL AS PER DCED-R100 AND REFERENCED AS STANDARD DRAWING.
- * SUITABLE MATERIAL SHALL CONTAIN NO STONE GREATER THAN 4" IN DIAMETER, NO FROZEN LUMPS, AND ONLY MINOR AMOUNTS OF CLAY OR ORGANIC MATERIAL. ALL MATERIAL TO BE PLACED IN MAX 6" LIFTS AND COMPACTED BEFORE PLACING NEXT LIFT.
 **TYPE I MATERIAL SHALL BE EITHER GRAVEL OR EXCAVATED MATERIAL CONTAINING NO STONES GREATER THAN 1.5" DIAMETER, NO FROZEN LUMPS, CLAY OR ORGANIC MATERIAL.
 **TYPE II MATERIAL SHALL BE CLEAN, HARD, CRUSHED OR NATURAL STONE WITH A GRADATION BY WEIGHT OF 100% PASSING A 1.5" SQUARE OPENING, NOT MORE THAN 25% PASSING A 3/8" OPENING, AND NOT MORE THAN 5% PASSING A 1/4" SQUARE OPENING.
 **TYPE III MATERIAL SHALL BE CLEAN, HARD, CRUSHED STONE FREE FROM COATINGS AND THOROUGHLY WASHED WITH A GRADATION BY WEIGHT OF 100% PASSING A 1" SQUARE OPENING, AND 0 TO 5% PASSING A 1/2" SQUARE OPENING.

TRENCH DETAIL (FOR SITE ONLY)
NOT TO SCALE



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	5-17-2021	ISSUED FOR REVIEW

APPLICANT/OWNER:
STATION MEADOW, LLC
4 DUNLAP ROAD
BURLINGTON, MA 01803

PROJECT:
TAX MAP 251, LOT 18
HALL ROAD
CANTERBURY, NH

PROJECT NO.	2915-01	DATE:	5/17/2021
SCALE:	AS SHOWN	DWG. NAME:	C2915-01
DESIGNED BY:	ARM	CHECKED BY:	MAM

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying environmental consulting • landscape architecture
www.allenmajor.com
400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500
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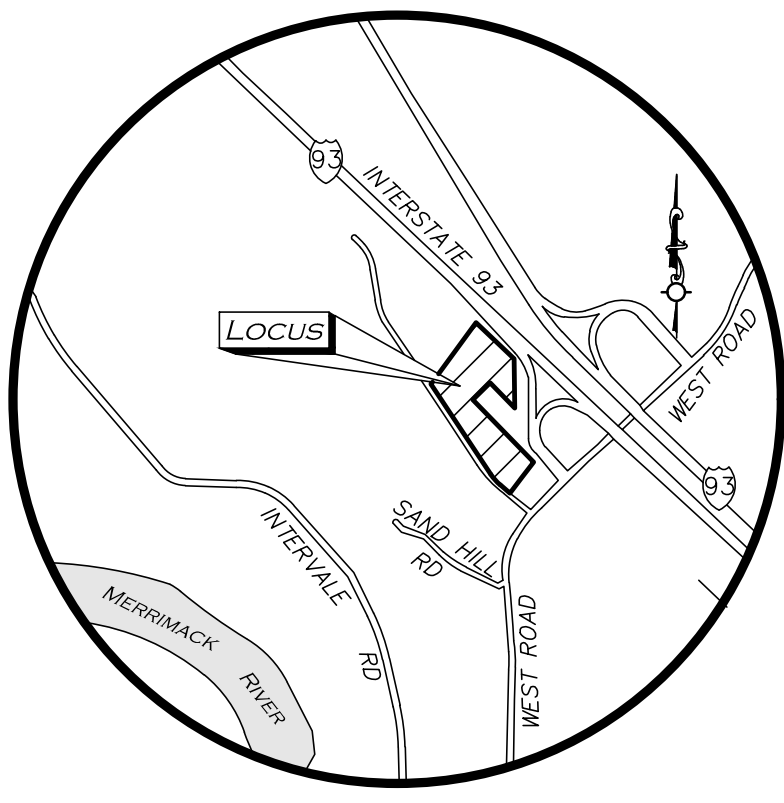
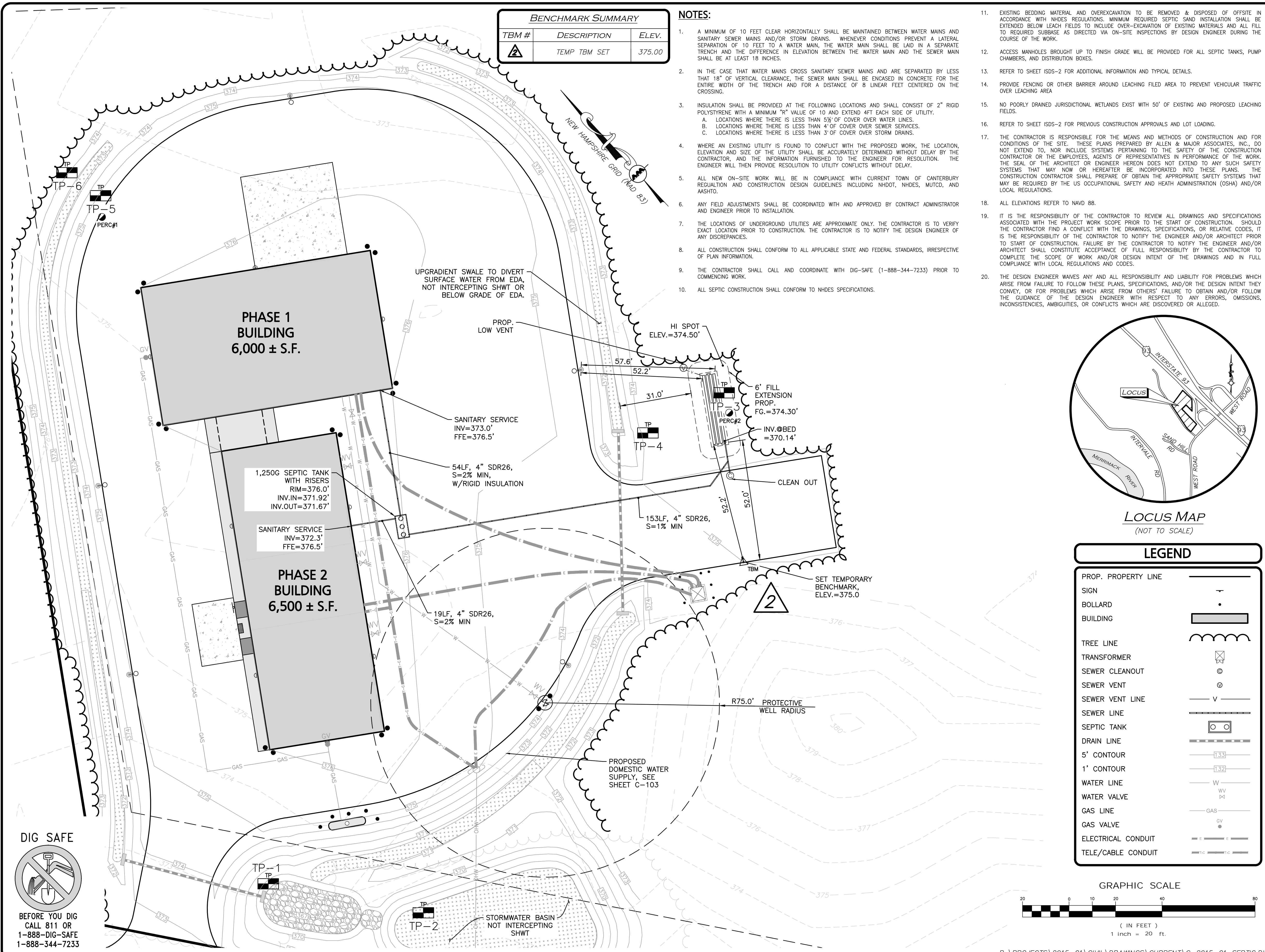
DRAWING TITLE:	SHEET No.
DETAILS	C-502

BENCHMARK SUMMARY		
TBM #	DESCRIPTION	ELEV.
2	TEMP TBM SET	375.00

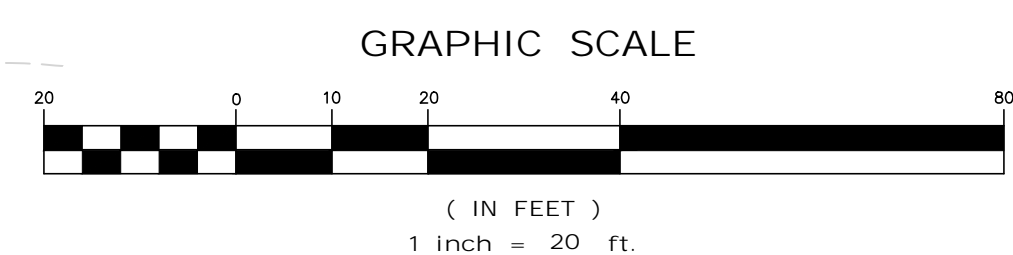
NOTES:

- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 8 LINEAR FEET CENTERED ON THE CROSSING.
- INSULATION SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS AND SHALL CONSIST OF 2" RIGID POLYSTYRENE WITH A MINIMUM "R" VALUE OF 10 AND EXTEND 4FT EACH SIDE OF UTILITY.
 - LOCATIONS WHERE THERE IS LESS THAN 5 1/2' OF COVER OVER WATER LINES.
 - LOCATIONS WHERE THERE IS LESS THAN 4' OF COVER OVER SEWER SERVICES.
 - LOCATIONS WHERE THERE IS LESS THAN 3' OF COVER OVER STORM DRAINS.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION. THE ENGINEER WILL THEN PROVIDE RESOLUTION TO UTILITY CONFLICTS WITHOUT DELAY.
- ALL NEW ON-SITE WORK WILL BE IN COMPLIANCE WITH CURRENT TOWN OF CANTERBURY REGULATION AND CONSTRUCTION DESIGN GUIDELINES INCLUDING NHDOT, NHDES, MUTCO, AND AASHTO.
- ANY FIELD ADJUSTMENTS SHALL BE COORDINATED WITH AND APPROVED BY CONTRACT ADMINISTRATOR AND ENGINEER PRIOR TO INSTALLATION.
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
- ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND FEDERAL STANDARDS, IRRESPECTIVE OF PLAN INFORMATION.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING WORK.
- ALL SEPTIC CONSTRUCTION SHALL CONFORM TO NHDES SPECIFICATIONS.

- EXISTING BEDDING MATERIAL AND OVEREXCAVATION TO BE REMOVED & DISPOSED OF OFFSITE IN ACCORDANCE WITH NHDES REGULATIONS. MINIMUM REQUIRED SEPTIC SAND INSTALLATION SHALL BE EXTENDED BELOW LEACH FIELDS TO INCLUDE OVER-EXCAVATION OF EXISTING MATERIALS AND ALL FILL TO REQUIRED SUBBASE AS DIRECTED VIA ON-SITE INSPECTIONS BY DESIGN ENGINEER DURING THE COURSE OF THE WORK.
- ACCESS MANHOLES BROUGHT UP TO FINISH GRADE WILL BE PROVIDED FOR ALL SEPTIC TANKS, PUMP CHAMBERS, AND DISTRIBUTION BOXES.
- REFER TO SHEET ISDS-2 FOR ADDITIONAL INFORMATION AND TYPICAL DETAILS.
- PROVIDE FENCING OR OTHER BARRIER AROUND LEACHING FILED AREA TO PREVENT VEHICULAR TRAFFIC OVER LEACHING AREA
- NO POORLY DRAINED JURISDICTIONAL WETLANDS EXIST WITH 50' OF EXISTING AND PROPOSED LEACHING FIELDS.
- REFER TO SHEET ISDS-2 FOR PREVIOUS CONSTRUCTION APPROVALS AND LOT LOADING.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OF OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- ALL ELEVATIONS REFER TO NAVD 88.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.



LEGEND	
PROP. PROPERTY LINE	—
SIGN	+
BOLLARD	•
BUILDING	▭
TREE LINE	~
TRANSFORMER	⊗
SEWER CLEANOUT	⊙
SEWER VENT	⊖
SEWER VENT LINE	— V —
SEWER LINE	—
SEPTIC TANK	▭
DRAIN LINE	—
5' CONTOUR	— 1.35 —
1' CONTOUR	— 1.32 —
WATER LINE	— W —
WATER VALVE	WV
GAS LINE	— GAS —
GAS VALVE	GV
ELECTRICAL CONDUIT	—
TELE/CABLE CONDUIT	— TC —



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1-888-344-7233



NHDES DESIGNER OF SUBSURFACE SYSTEM FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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APPLICANT/OWNER:
STATION MEADOW, LLC
4 DUNLAP ROAD
BURLINGTON, MA 01803

PROJECT:
TAX MAP 251, LOT 18
HALL ROAD
CANTERBURY, NH

PROJECT NO.	2915-01	DATE:	5/17/2021
SCALE:	1" = 20'	DWG. NAME:	C2915-01
DESIGNED BY:	ARM	CHECKED BY:	MAM

PREPARED BY:

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civil engineering • land surveying environmental consulting • landscape architecture
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DRAWING TITLE:
INDIVIDUAL SUBSURFACE DISPOSAL SYSTEM

SHEET No.
ISDS-1

GENERAL NOTES

- THIS PLAN IS FOR THE DESIGN AND CONSTRUCTION OF THE PROPOSED SEPTIC SYSTEM AND APPURTENANCES ONLY. IT IS NOT TO BE USED FOR THE DETERMINATION OF BOUNDARIES, THE ERECTION OF BUILDINGS, OR ANY OTHER USE.
- NO VEHICLES OR HEAVY MACHINERY SHALL NOT BE PERMITTED TO PASS OVER THE DISPOSAL AREA.
- INSTALLATION OF ALL SEPTIC SYSTEM COMPONENTS SHALL BE PERFORMED BY A LICENSED NH SEPTIC INSTALLER. CONTRACTOR SHALL VERIFY LOCATION, ELEVATION, AND SETBACK DISTANCES PRIOR TO CONSTRUCTION. ANY DISCREPANCY BETWEEN THIS PLAN AND THE APPARENT FIELD CONDITIONS SHALL BE REPORTED TO AND COORDINATED WITH THE DESIGNER, ALL VENDORS AND SITE OWNER IMMEDIATELY BY CONTRACTOR PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL COORDINATE INSPECTION OF SEPTIC SYSTEM INSTALLATION WITH HEALTH OFFICE AND NHDES.
- PRIOR TO THE START OF EXCAVATION ACTIVITIES, THE CONTRACTOR IS TO HAVE COORDINATED WITH DIG-SAFE (888-344-7233).
- NO CHANGES ARE TO BE MADE DURING CONSTRUCTION UNLESS PRE-APPROVED BY NHDES, THE SITE OWNER, THE DESIGNER AND THE TOWN HEALTH OFFICER. ALL CHANGES ARE TO BE COORDINATED BY THE CONTRACTOR.
- INSTALLATION SHALL BE PERFORMED IN ACCORDANCE WITH ALL REGULATIONS AND PER THE DIRECTION OF NHDES AND APPLICABLE PRODUCT VENDORS. INSTALLATION GUIDELINES SHALL BE FOLLOWED, INCLUDING THE APPROPRIATE DESIGN AND INSTALLATION MANUALS FOR ALL SYSTEMS.
- INTRODUCTION OF WASTE OTHER THAN NORMAL SEWAGE INTO THE SEPTIC SYSTEM IS NOT PERMITTED. THE DISPOSAL OF PH LOWERING AGENTS SUCH AS FLOOR STRIPPERS ARE PROHIBITED. NO CHEMICALS IN CONCENTRATIONS OR COMBINATIONS THAT WILL BE HARMFUL TO THE SEPTIC SYSTEM OR DEGRADE GROUNDWATER RESOURCES SHALL BE INTRODUCED TO THE SEPTIC SYSTEM. NO CLEANING AGENTS, SOLVENTS OR CHEMICALS OTHERWISE HAZARDOUS TO THE SEPTIC SYSTEM SHALL BE DISCHARGED TO THE SEPTIC SYSTEM. NO FILTER BACKWASHES, HOT TUBS, GARBAGE DISPOSALS, FOOD PRODUCT OR WASTE, FLOOR DRAINS, CONDENSATE DRAINS, OR HUMIDIFICATION DRAINS SHALL BE PLUMBED TO THE SEPTIC SYSTEMS. HOLDING TANKS SHALL BE UTILIZED (VIA NHDES REQUIREMENTS) FOR ALL FLOWS NOT ALLOWED INTO THE SEPTIC SYSTEMS (BY OTHERS).
- LEACHFIELD(S) ARE TO BE REBUILT IN PLACE IF REPLACEMENT BECOMES NECESSARY.
- PRIOR TO SYSTEM INSTALLATIONS, SHOP DRAWINGS OF ALL COMPONENTS AND DETAILS SHALL BE SUBMITTED FOR REVIEW. REVIEWS SHALL INCLUDE THOSE BY PRESBY ENVIRONMENTAL, PUMP VENDOR, TANK SUPPLIERS, ETC. FOR ALL COMPONENTS AND DETAILS, WHICH ARE NOT NECESSARILY DEPICTED ON THESE PLANS. DETAILS ON THESE PLANS MAY BE PROTOTYPICAL ONLY.
- PLANTINGS IN THE VICINITY OF THE LEACH FIELD SHALL BE COORDINATED WITH DESIGNER SO AS TO NOT ADVERSELY IMPACT THE SEPTIC SYSTEM.
- ALL WATER LINES SHALL BE 25' MINIMUM SETBACK FROM LEACHING FIELDS.
- ALL CONCRETE PRODUCTS TO BE MANUFACTURED BY PHOENIX PRECAST OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON THE PLANS ALL TANKS AND EQUIPMENTS SYSTEMS SHALL CONFORM TO NHDES REGULATIONS.
- CONCRETE STRUCTURES TO BE WATER TIGHT. ALL JOINTS, INLETS, OUTLETS, ETC. TO BE SEALED WITH NON-SHRINK GROUT - "WATER PLUG", "BLOCK BOND" OR APPROVED EQUAL.
- SYSTEM TO BE INSPECTED AND APPROVED BY THE TOWN & STATE PRIOR TO BACKFILLING IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- CONTRACTOR TO PROVIDE COMPLETE RECORDS OF ONGOING CONSTRUCTION ACTIVITIES, INCLUDING PHOTO LOGS OF ALL WORK AND REDLINES & MEASURED DRAWINGS OF ALL COMPONENTS PLACED AS WORK PROGRESSES, MATERIALS TESTING AND CERTIFICATIONS, INSPECTION REPORTS, DAILY CONSTRUCTION MANAGER'S LOGS, AND OTHER GENERAL CONTRACTOR RECORDS.
- CONTRACTOR SHALL COORDINATE WITH ALL VENDORS AND PROVIDE DETAIL SHOP DRAWINGS OF ALL SYSTEMS, FITTINGS, ETC. FOR REVIEW & APPROVAL PRIOR TO COMMENCEMENT OF ORDERING MATERIALS.
- DO NOT INSTALL ON FROZEN GROUND OR LEAVE SYSTEM UNCOVERED FOR EXTENDED PERIODS OF TIME.
- ALL DISTRIBUTION PIPES OR COMPONENTS WITH LESS THAN 4" OF COVER ARE TO BE PROVIDED WITH RIGID INSULATION.

DESIGN NOTES

- DESIGN INTENT:
LEACH FIELD: BOTTOM OF "ADVANCED ENVIRO-SEPTIC" PIPE TO BE SET 4.46 FT BELOW EXISTING GRADE AT ELEV.= 369.54'.
SEWAGE LOADING: 5.05 AC. X 2000 GPD/AC. = 10,100 GPD (SOIL CLASS 1)
DESIGN PERCOLATION RATE: 1 MIN. PER INCH BASED ON ACTUAL PERC TEST. (TO DEPTH OF 16")
PROPOSED DESIGN CRITERIA:
ENV-WQ 1008-01 (TABLE 1008-1) 10 GPD/EMPLOYEE X 20 EMPLOYEES = 200 GPD
MINIMUM SIZE = 300 GPD
- LEACHING AREA DESIGN CRITERIA (TABLE 1016-1): 125SF/PER 1000PD = 375SF FIELD; CONVENTIONAL FIELD: @ 2 MIN PER INCH = 375SF REQUIRED
-40% REDUCTION FOR CHAMBERS = 375 X .60 = 225 SF REQUIRED
REQUIRED LENGTH OF ADVANCED ENVIRO-SEPTIC PIPE:
(FROM PRESBY ENVIRONMENTAL TABLE A)
PERC. RATE 1-2MFI
47 FT PER 100 GPD
REQUIRED: 141 LF
PROVIDED: 160 LF
- SEPTIC TANK: SEE ENV-WQ 1010.02a & 1010.01b @ 300 GPD = 1250 GAL TANK SHALL BE PRECAST PER ENV-WQ 1010 AND AS MANUFACTURED BY PHOENIX PRECAST OR APPROVED EQUAL
- WATER SUPPLY: PROPOSED WELL.
- LEACH FIELD PROXIMITY TO ABUTTING FEATURES:
NEAREST SURFACE WATER: >75 FT.
NEAREST WELL: >75 FT.
- ADVANCED ENVIRO-SEPTIC (AES) WASTEWATER TREATMENT SYSTEMS ARE APPROVED BY NHDES AS ITA (#2010-07-01, ISSUED JULY 30, 2010) IN ACCORDANCE WITH PART ENV-WQ 1000. THE SYSTEM IS DESIGNED IN ACCORDANCE WITH THE ADVANCED ENVIRO-SEPTIC LEACHING SYSTEMS DESIGN AND INSTALLATION MANUAL AND THE ADVANCED ENVIRO-SEPTIC WASTEWATER TREATMENT SYSTEMS DESIGN AND INSTALLATION MANUAL NEW HAMPSHIRE STATE ATTACHMENT.
- NO SNOW SHALL BE STORED OR PLACED ON LEACHFIELDS OTHER THAN THAT WHICH FALLS NATURALLY.
- COUNTY SOIL: 35A CHAMPLAIN LOAMY FINE SAND 0 TO 3 % SLOPES (NRCS WEB SOIL SURVEY)

OPERATING REQUIREMENTS

- SYSTEM IS NOT DESIGNED TO HANDLE GARBAGE DISPOSALS OR WATER TREATMENT BACKWASH, OR JETTED TUBS.
- TO PREVENT OBSTRUCTION OF THE DISTRIBUTION LINES AND LEACH FIELD, GREASE AND BULKY WASTES SHALL NOT BE FLUSHED OR INTRODUCED INTO THE SEPTIC SYSTEM.
- TOXIC AND HAZARDOUS MATERIALS SHALL NOT BE INTRODUCED INTO THE SEPTIC SYSTEM.
- DO NOT ALLOW VEHICULAR TRAFFIC OVER ANY COMPONENT OF THE SYSTEM UNLESS THAT STRUCTURE IS DESIGNED TO WITHSTAND HS-20 WHEEL LOADING.
- SEAL ALL CONSTRUCTION JOINTS WITH DOUBLE LAYER OF 1" DIAMETER BUTYL RUBBER OR EQUIVALENT.
- ALL PIPE CONNECTORS AT STRUCTURES SHALL BE WATERTIGHT FLEXIBLE BOOTS FREE OF GROUT, ALL HARDWARE TO BE STAINLESS STEEL.
- PROVIDE FULL VENTING OF ALL COMPONENTS TO CODE AND PER PRESBY REQUIREMENTS. VENTING SHALL BE 4" PVC SCHEDULE 40 SOLID WALL.
- NO FOUNDATION DRAINS ARE PROPOSED WITHIN 25 FEET OF LEACHFIELD.

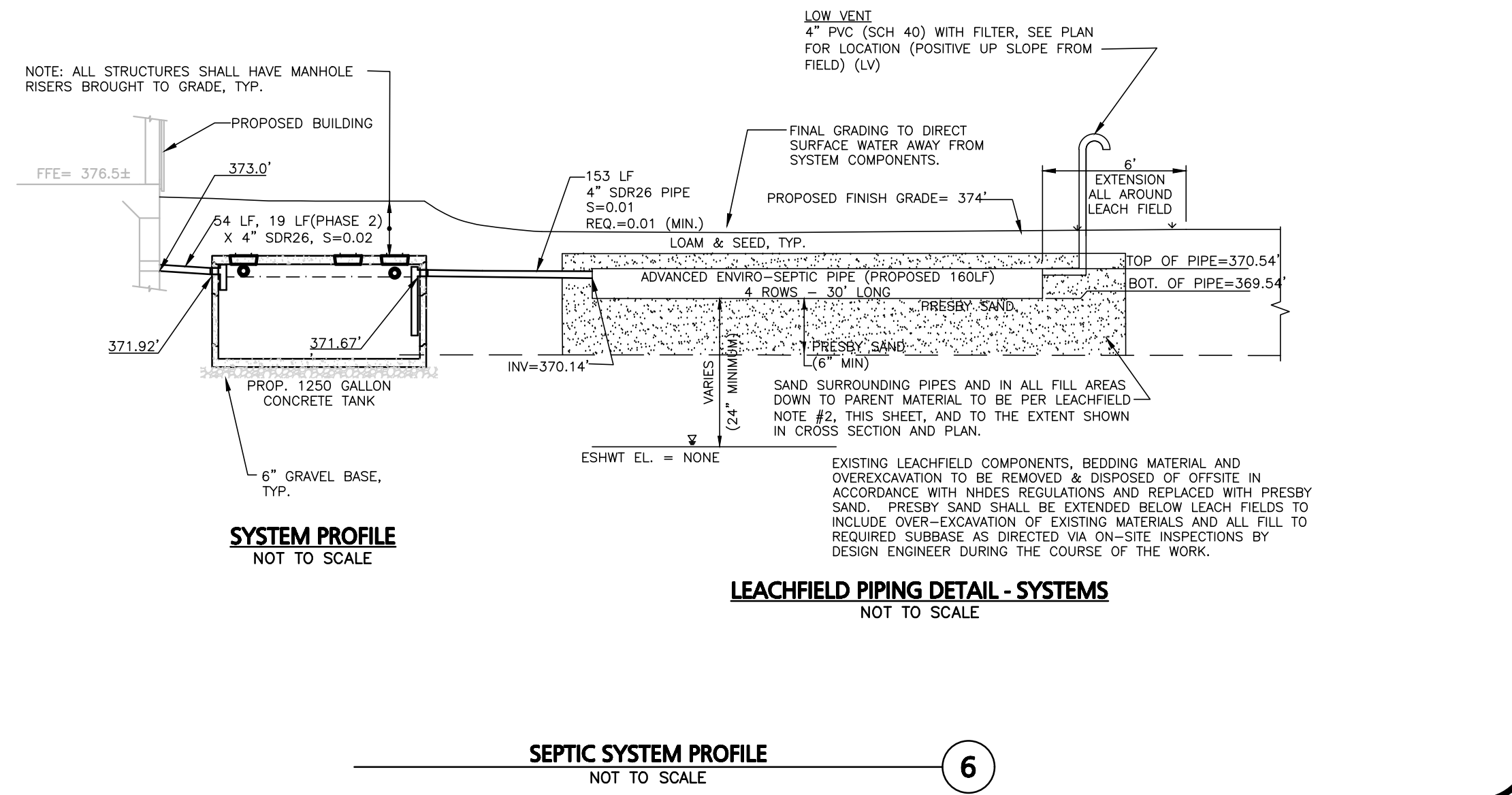
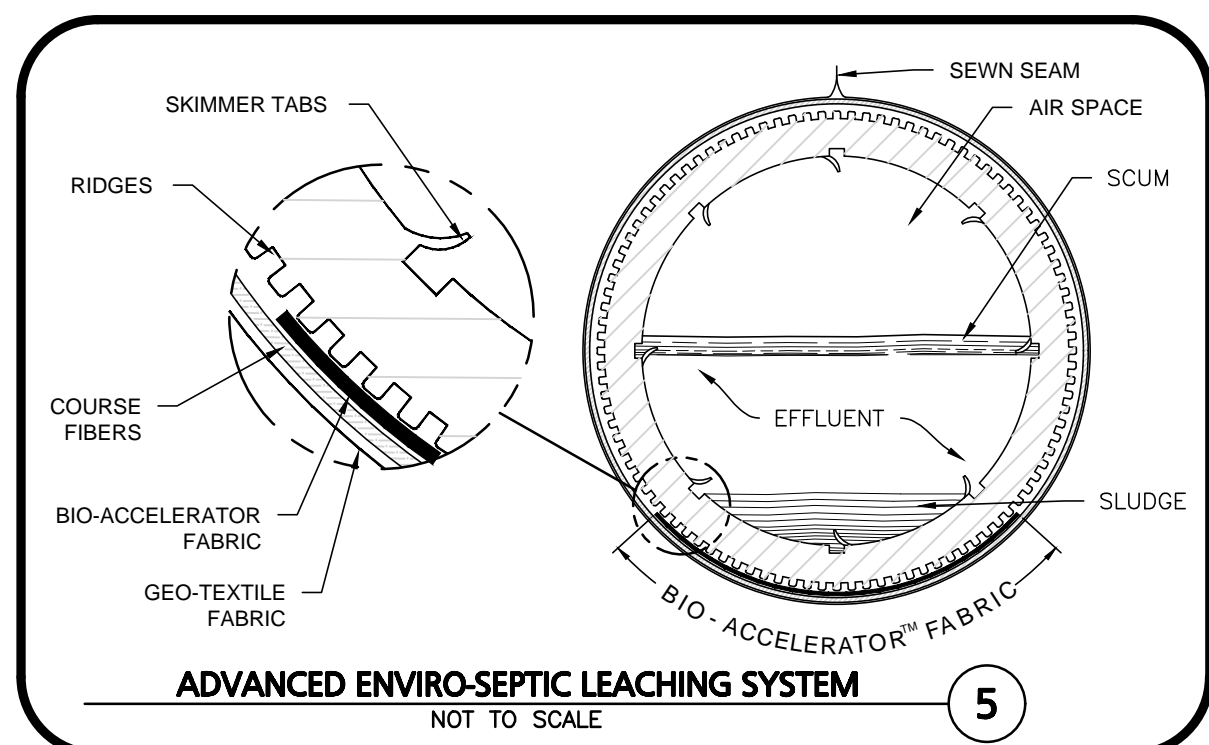
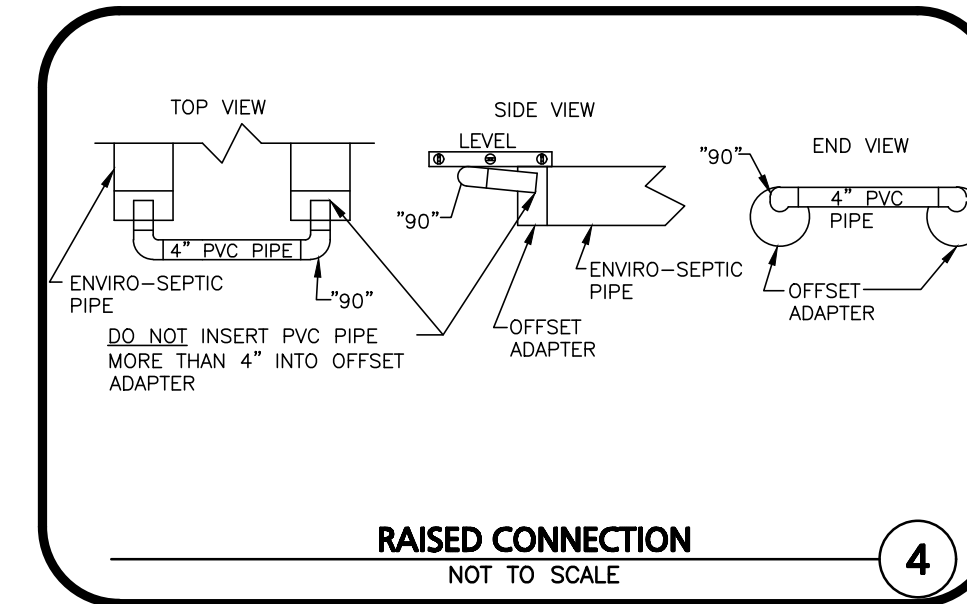
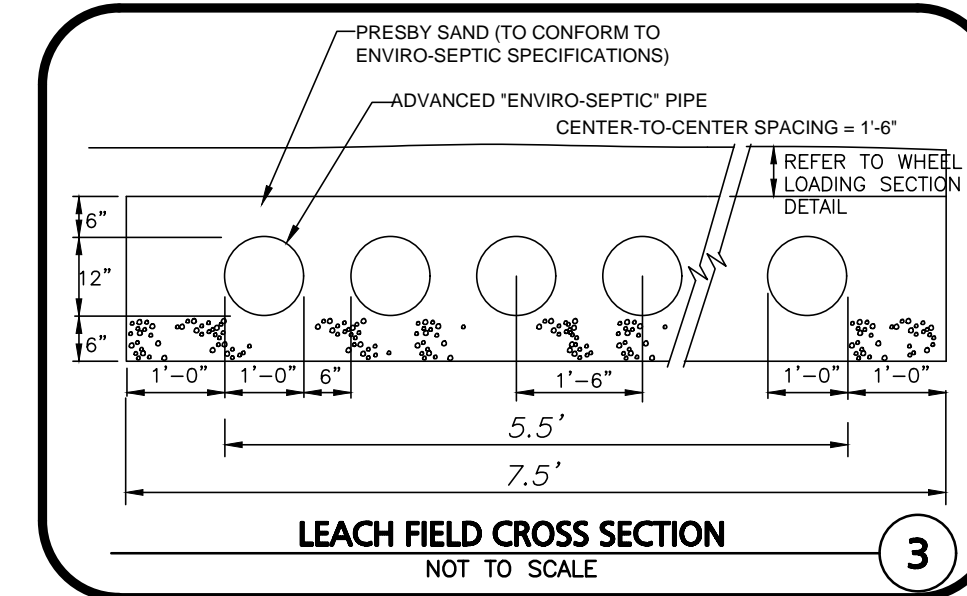
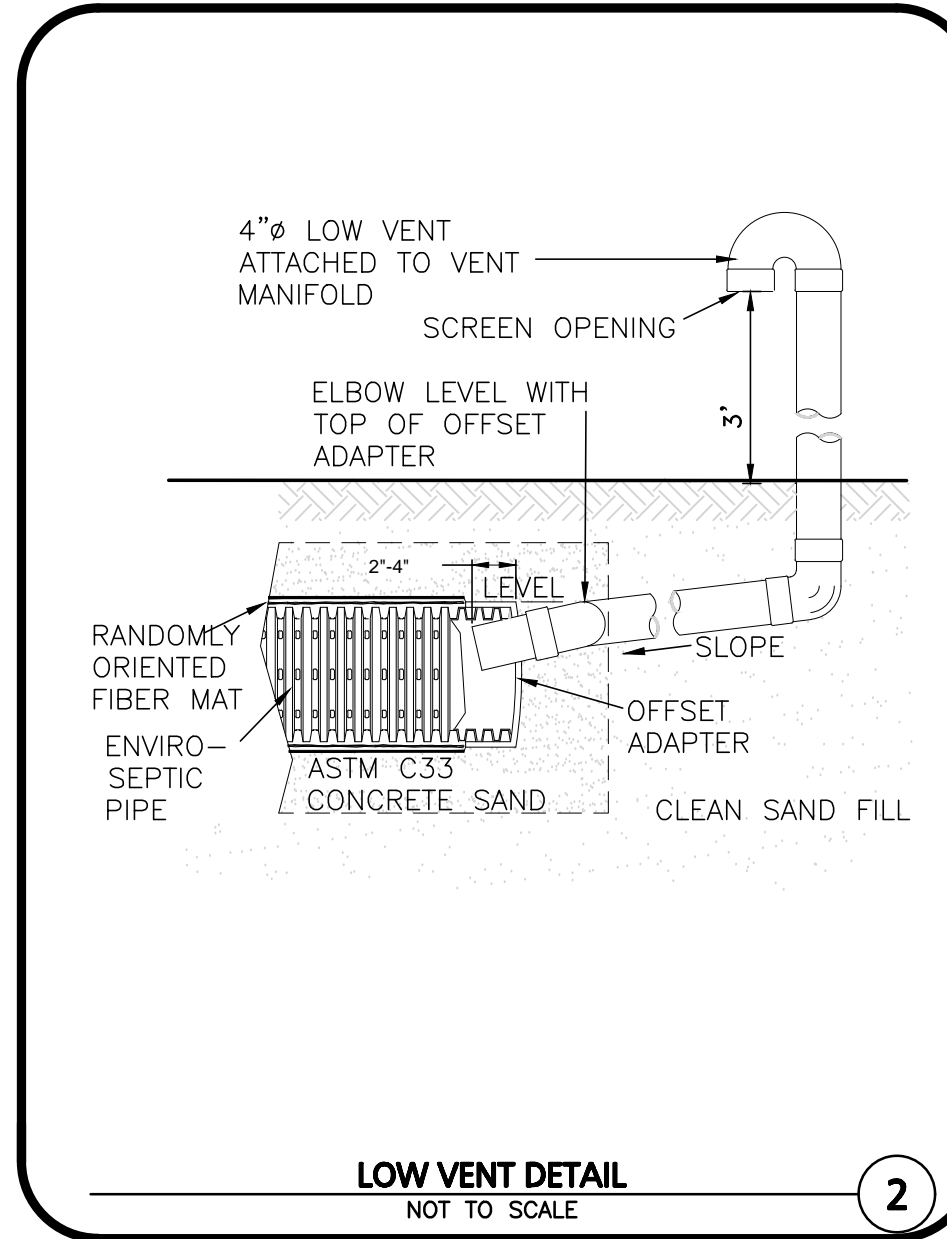
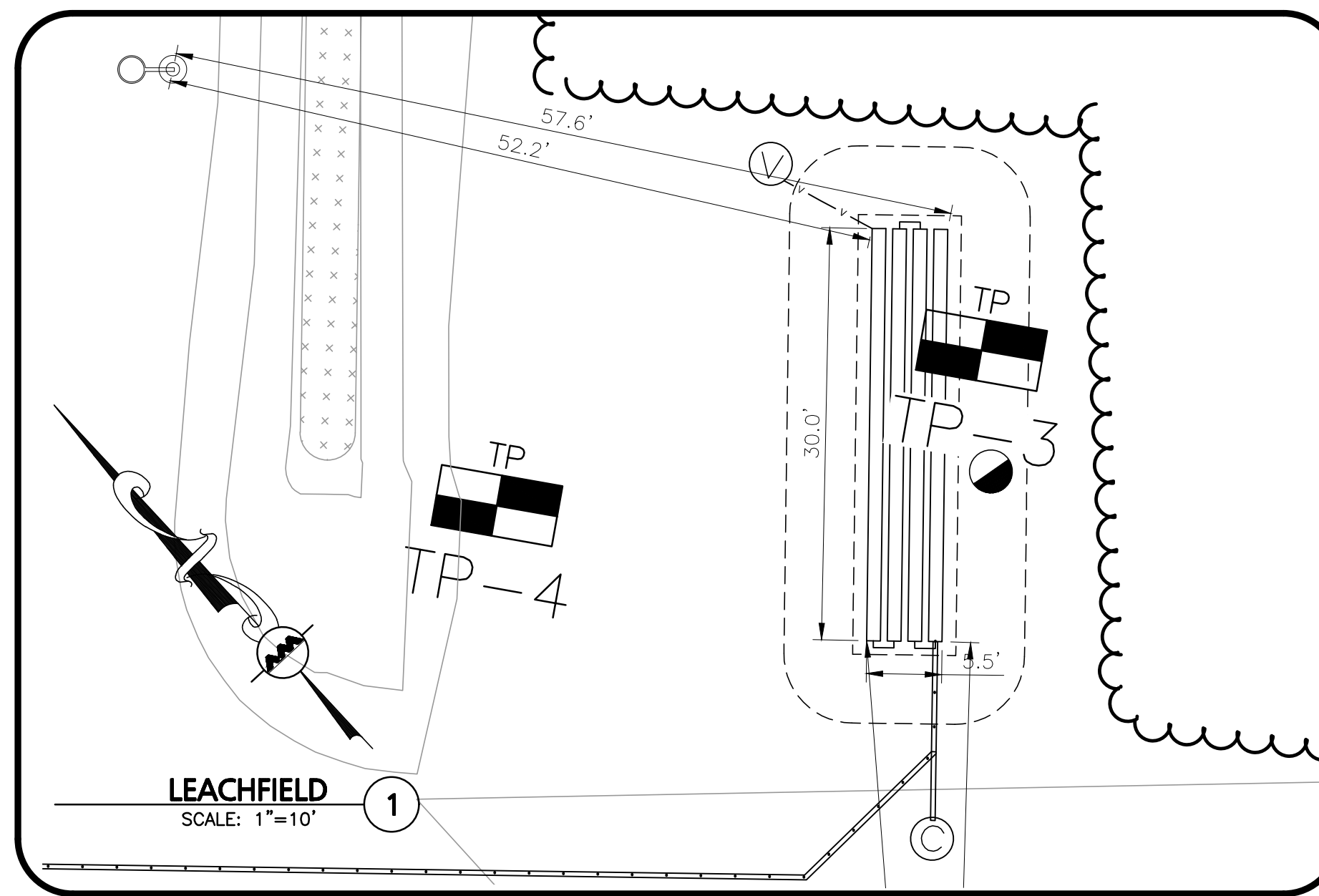
TEST PITS

DATE: MAY 3, 2021
PERFORMED BY: A&M - MICHAEL MALYNOWSKI, NHDES SEPTIC DESIGNER

TEST PIT #	EXISTING GROUND ELEVATION	USED PIT
TEST PIT #1	373.0	NO
0-12"	10YR 3/6 LOAMY SAND	
12-28"	10YR 5/6 LOAMY FINE SAND	
28-84"	10YR 6/6 LOAMY FINE SAND	
	NO OBSERVED WATER	
	NO OBSERVED REDOX	
TEST PIT #2	372.5	NO
0-12"	10YR 3/6 LOAMY SAND	
12-22"	10YR 5/6 LOAMY FINE SAND	
22-84"	10YR 6/6 LOAMY FINE SAND	
	NO OBSERVED WATER	
	NO OBSERVED REDOX	
TEST PIT #3	374.0	YES
0-12"	10YR 3/6 LOAMY SAND	
12-23"	10YR 5/6 LOAMY FINE SAND	
23-84"	10YR 6/6 LOAMY FINE SAND	
	NO OBSERVED WATER	
	NO OBSERVED REDOX	
TEST PIT #4	374.0	NO
0-8"	10YR 3/6 LOAMY FINE SAND	
8-22"	10YR 5/6 LOAMY FINE SAND	
22-38"	10YR 6/6 LOAMY FINE SAND	
38-79"	2.5Y 7/1 LOAMY FINE SAND	
	NO OBSERVED WATER	
	NO OBSERVED REDOX	
TEST PIT #5	374.0	NO
0-8"	10YR 3/6 LOAMY FINE SAND	
8-26"	10YR 4/6 LOAMY FINE SAND	
26-72"	2.5Y 6/4 LOAMY FINE SAND	
	NO OBSERVED WATER	
	REDOX OBSERVED @44"	
TEST PIT #6	374.0	NO
0-8"	10YR 3/4 LOAMY FINE SAND	
8-26"	10YR 4/6 LOAMY FINE SAND	
26-84"	2.5Y 6/4 LOAMY FINE SAND	
	NO OBSERVED WATER	
	REDOX OBSERVED @36"	

LEACH FIELD NOTES

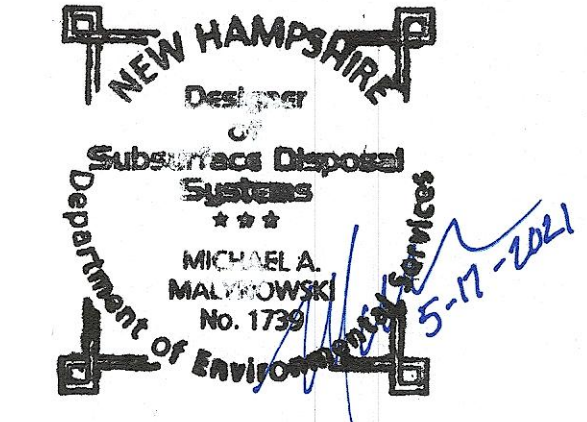
- MINIMUM OF 6" OF MEDIUM TO COARSE SAND WITH LESS THAN 2% PASSING A # 200 SIEVE REQUIRED AROUND CIRCUMFERENCE OF ENVIRO-SEPTIC PIPES. (SEE DESIGN AND INSTALLATION MANUAL FOR COMPLETE SAND AND FILL SPECIFICATIONS.)
- ALL SYSTEMS SAND SHALL BE ASTM C33 FINE AGGREGATE CONCRETE SAND, SILICA BASED (NOT LIMESTONE BASED), CLEAN, UNCONTAMINATED. ALL MATERIAL SHALL BE REVIEWED AND APPROVED BY PRESBY ENVIRONMENTAL AND INCLUDE LAB AND FIELD TESTING CERTIFICATES PRIOR AND DURING CONSTRUCTION, RESPECTIVELY.
- ALL VENTING SYSTEMS SHALL BE INDEPENDENT AND SEPARATE WITH NO INTERCONNECTS
- INSPECTION PROVISIONS SHALL BE ACCOMMODATED FOR TOWN AND STATE OFFICIALS AS REQUIRED IN LOCAL AND STATE REGULATIONS.
- ENVIRO-SEPTIC PIPE TO BE LAID LEVEL.



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NHDES DESIGNER OF SUBSURFACE SYSTEM FOR ALLEN & MAJOR ASSOCIATES, INC.

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DRAWING TITLE:	INDIVIDUAL SUBSURFACE DISPOSAL SYSTEM	SHEET No.	ISDS-2
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